

KOCH RESIDENCE

ALTERATIONS & ADDITIONS

15 KELLYS & RAPSONS ROAD
NEUARPURR

ARCHITECTURAL & ENGINEERING DRAWINGS

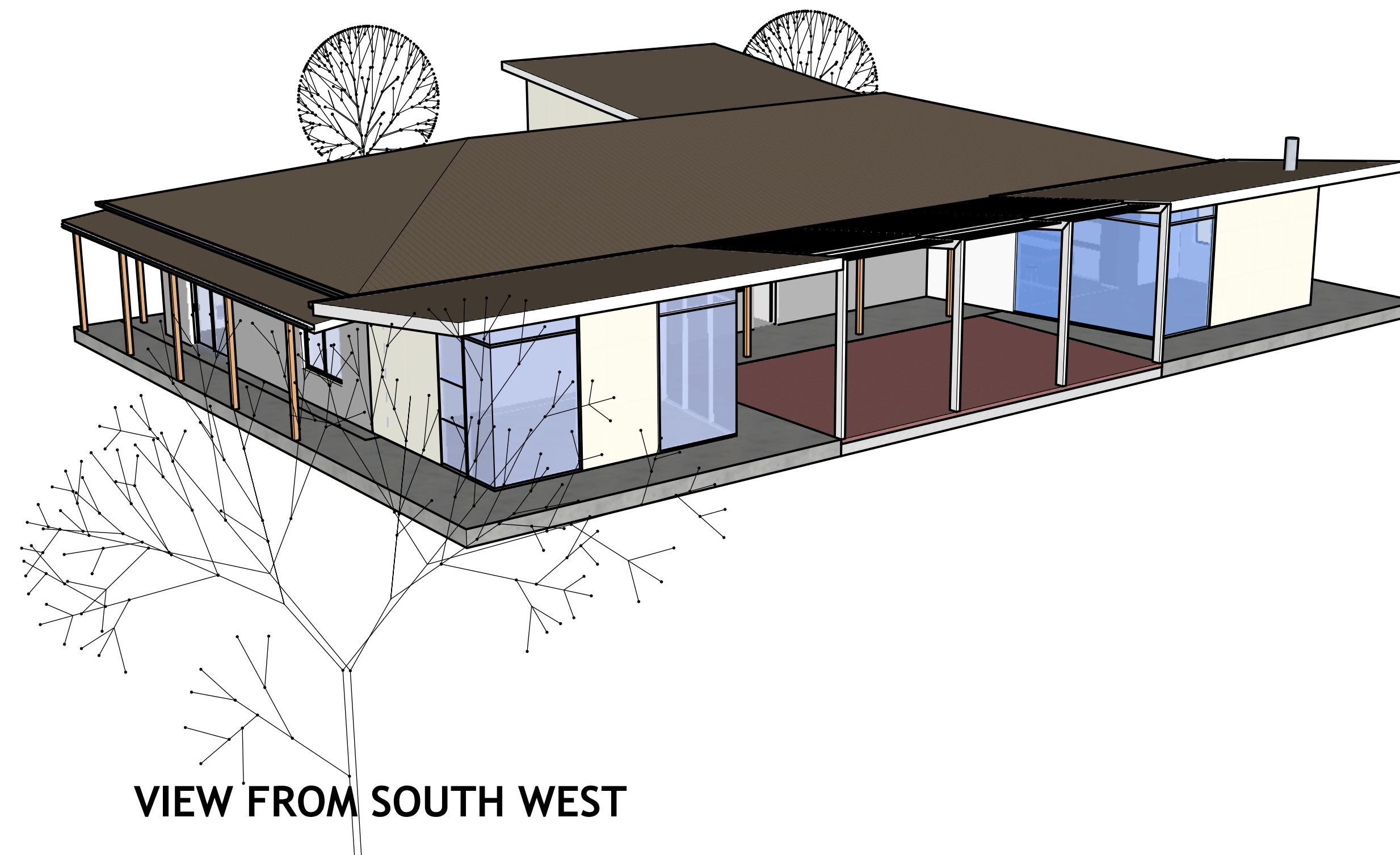
DRAWING REGISTER

ARCHITECTURAL

- A.00 TITLE PAGE
- A.01 SITE PLAN & DEMO PLAN
- A.02 DEMOLITION PLAN
- A.03 FLOOR PLAN
- A.04 WALL TYPE SCHEDULE
- A.05 ELECTRICAL & LIGHTING PLAN
- A.06 SLAB PLAN
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ENGINEERING

- F01 FOOTING AND SLAB LAYOUT
- S01 FRAMING PLANS AND DETAILS



VIEW FROM SOUTH WEST



PERGOLA VIEW



VIEW FROM LIVING ROOM TO KITCHEN
(ALL IMAGES ARE ARTISTS IMPRESSION ONLY
DRAWINGS AND SPECIFICATION TAKE PRECEDENCE)

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9 Robert St
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CLIENT
KOCH RESIDENCE
15 KELLYS & RAPSONS ROAD
NEUARPURR

PROJECT
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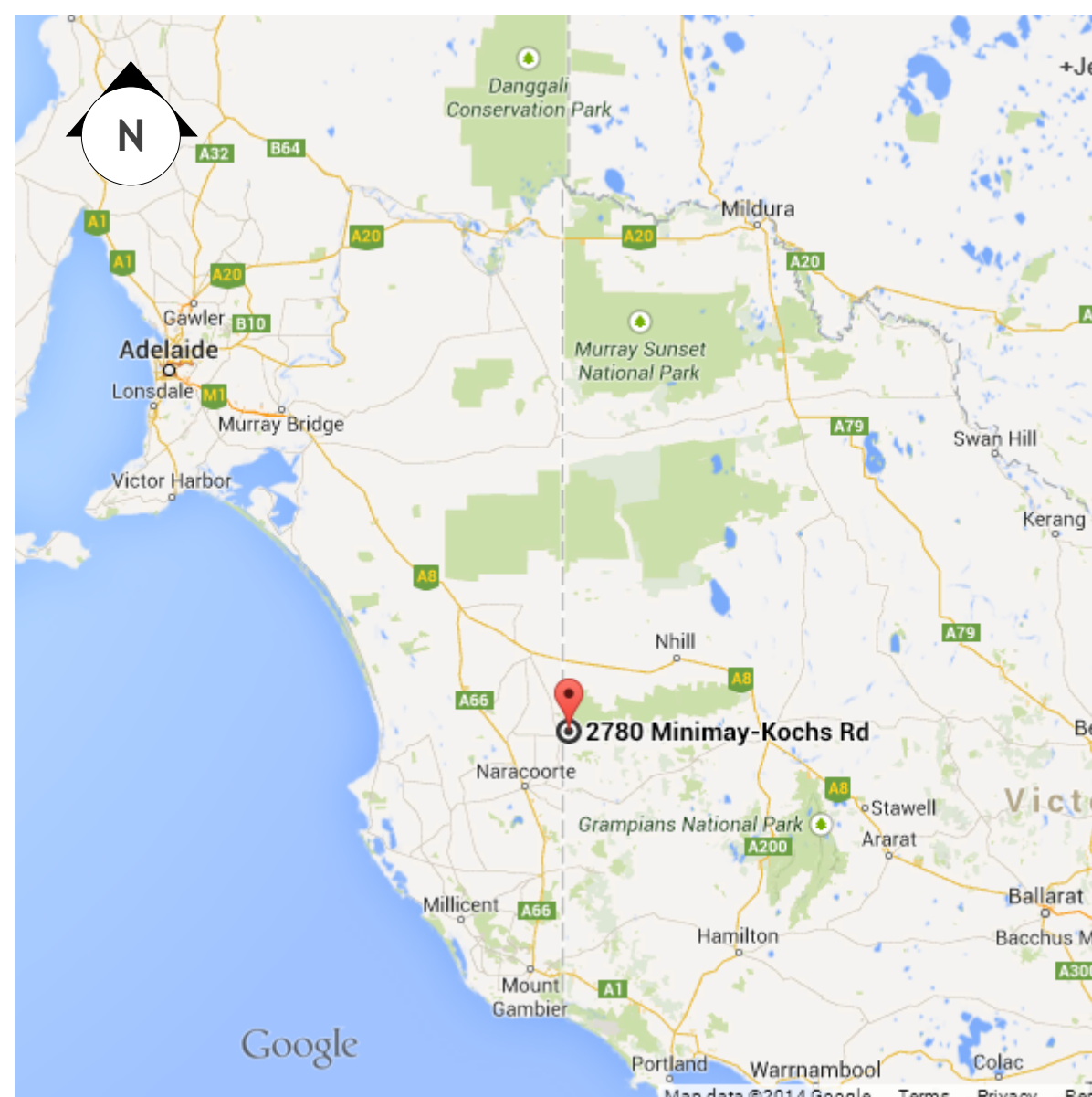
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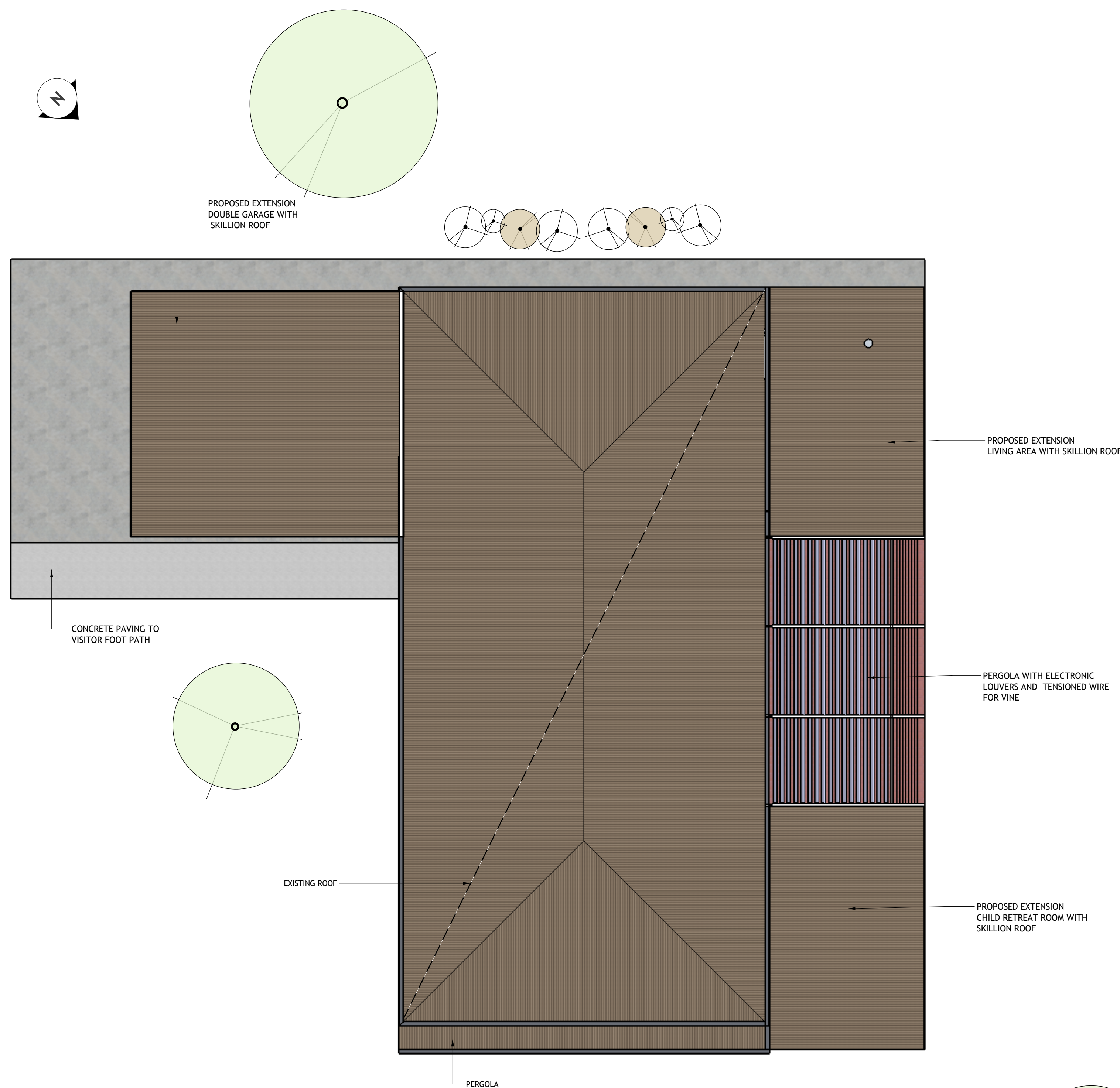
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REGIONAL PLAN
SCALE: NOT TO SCALE



LOCATION PLAN
SCALE: NOT TO SCALE

SITE PLAN
SCALE: 1:100

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DESCRIPTION
SITE PLAN & DEMO PLAN

SCALE
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NOTES:

SAFETY AND SECURITY
ENSURE THAT THE SECURITY OF EXISTING BUILDING IS MAINTAINED AT ALL TIMES.

REMOVAL OF SERVICES NOT TO BEGIN UNTIL SUPPLY HAS BEEN SAFELY ISOLATED OR RE-ROUTED.

DETERMINE IF ELEMENTS TO BE DEMOLISHED ARE LOAD BEARING.

DO NOT DEMOLISH LOAD BEARING ELEMENTS UNTIL THE LOAD HAS BEEN REMOVED OR BEAMS, COLUMNS, PROPS, ETC., ARE IN PLACE AND SUPPORTING THE LOAD.

REFER TO WORKS BEING UNDERTAKEN IN ACCORDANCE WITH ENGINEERS REPORT

SERVICES
REFER TO ENGINEERS DOCUMENTATION FOR DETAILS OF STRUCTURAL DEMOLITION

REFER TO ENGINEERS DOCUMENTATION FOR DETAILS OF CIVIL DEMOLITION.

REFER TO ENGINEERS DOCUMENTATION FOR DETAILS OF SERVICES DEMOLITION.

GENERAL DEMOLITION
CARRY OUT DEMOLITION AS SHOWN ON THE DRAWINGS, SPECIFIED AND AS NOTED.

CART AWAY ALL MATERIALS EXCEPT THOSE SPECIFICALLY NOMINATED FOR RE-USE.

REMOVE CEILING SYSTEM, SKIRTING AND FLOOR COVERINGS ETC WHERE INDICATED.

PREPARE SITE FOR NEW WORKS.
REMOVE ALL LANDSCAPING, BRICK, RUBBISH, STONE, PAVERS AND ANY OTHER OBSOLETE ITEMS FROM SITE.

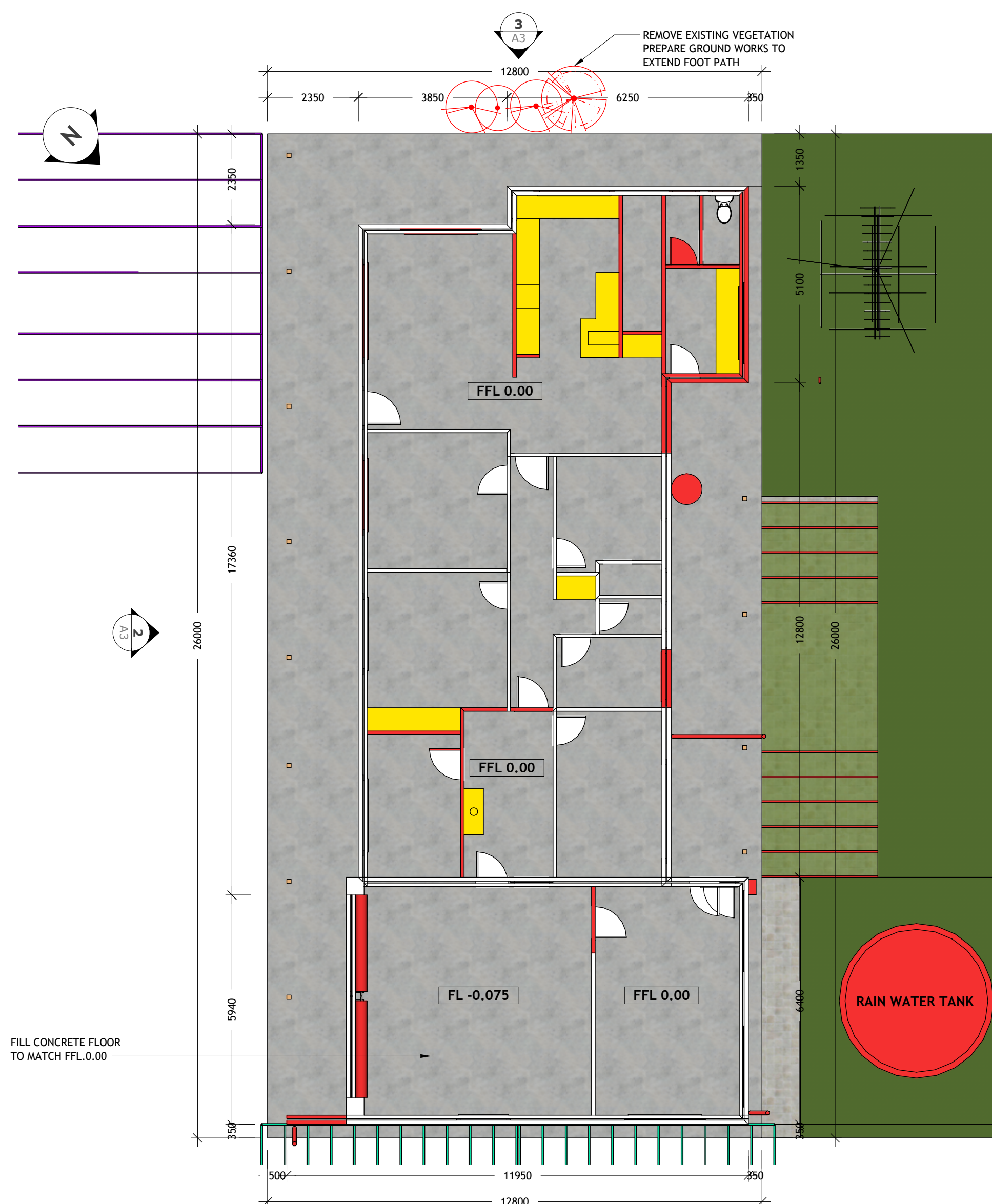
ALL LOOSE ITEMS TO BE REMOVED FROM SITE. PLEASE CONFIRM WITH CLIENT ANY ITEMS THAT MAY LIKE TO BE RETAINED PRIOR TO REMOVAL.

FITTING AND FIXTURES
REMOVE ALL JOINERY ITEMS SUCH AS CARPETS, WINDOW TREATMENTS,

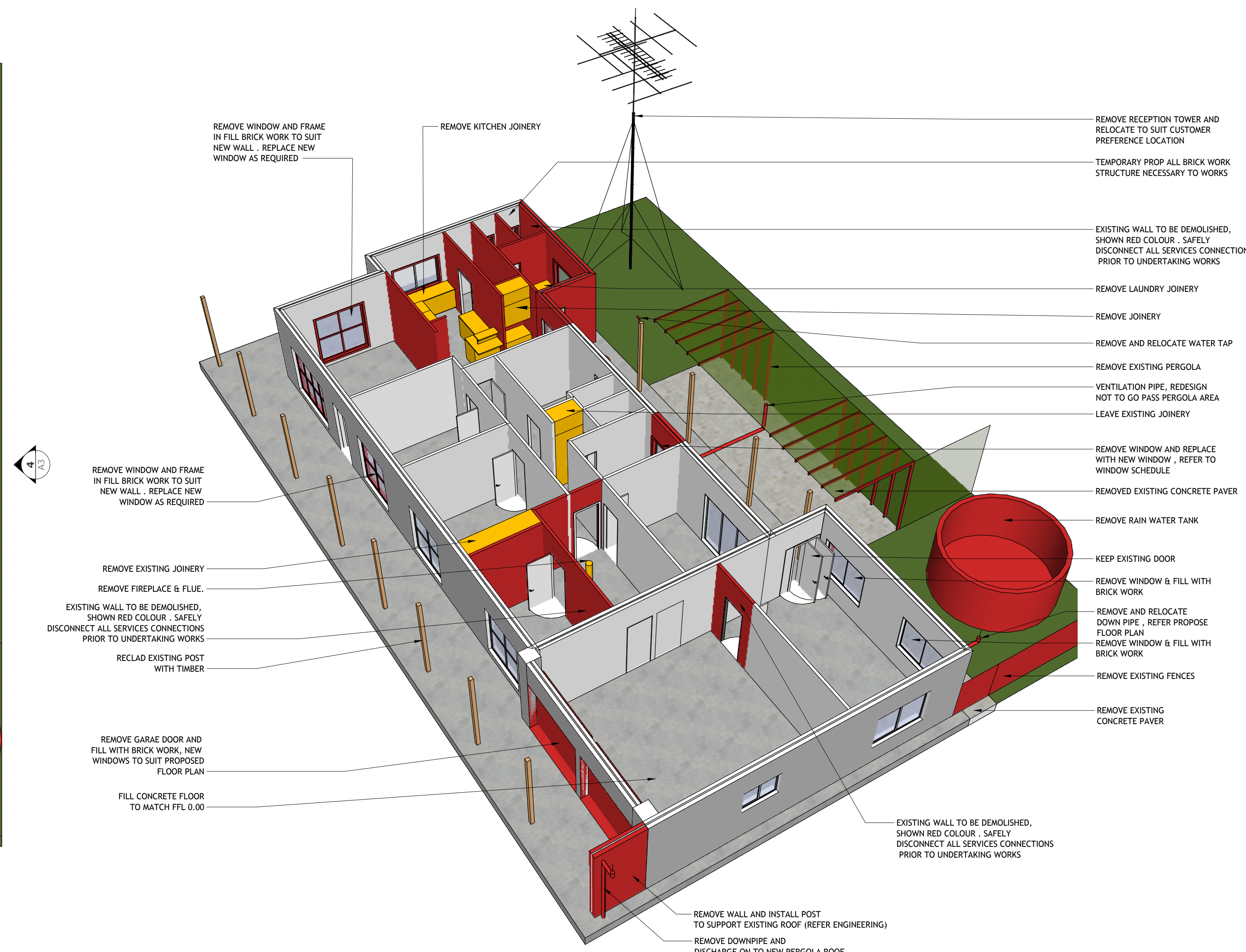
REMOVE ALL SINK, BASINS, THROUGH, GAS AND WATER OUTLETS DENOTED FOR REMOVAL.

ITEMS TO BE RETAINED
CLIENT TO IDENTIFY ANY FIXTURES, FITTINGS AND JOINERY ITEMS THAT THEY MAY WISH TO RETAIN.

SUCH ITEMS SHALL BE LABELED OR MARKED, CAREFULLY REMOVED AND HANDED TO CLIENT.



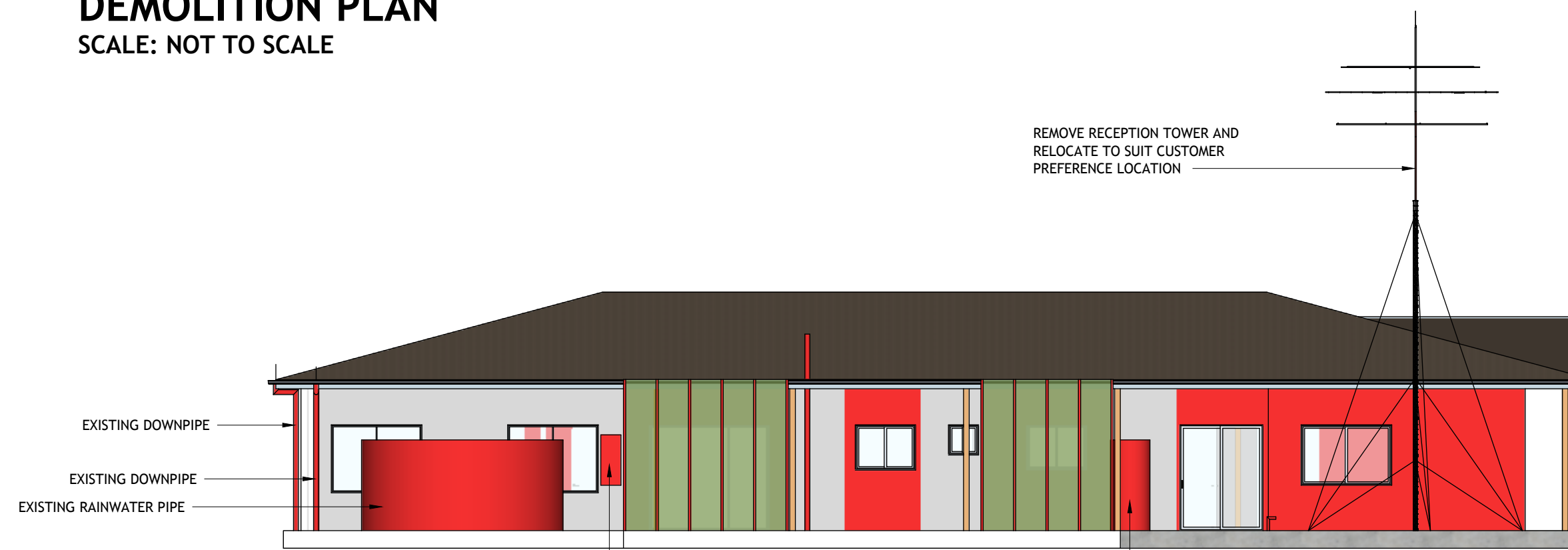
FLOOR PLAN
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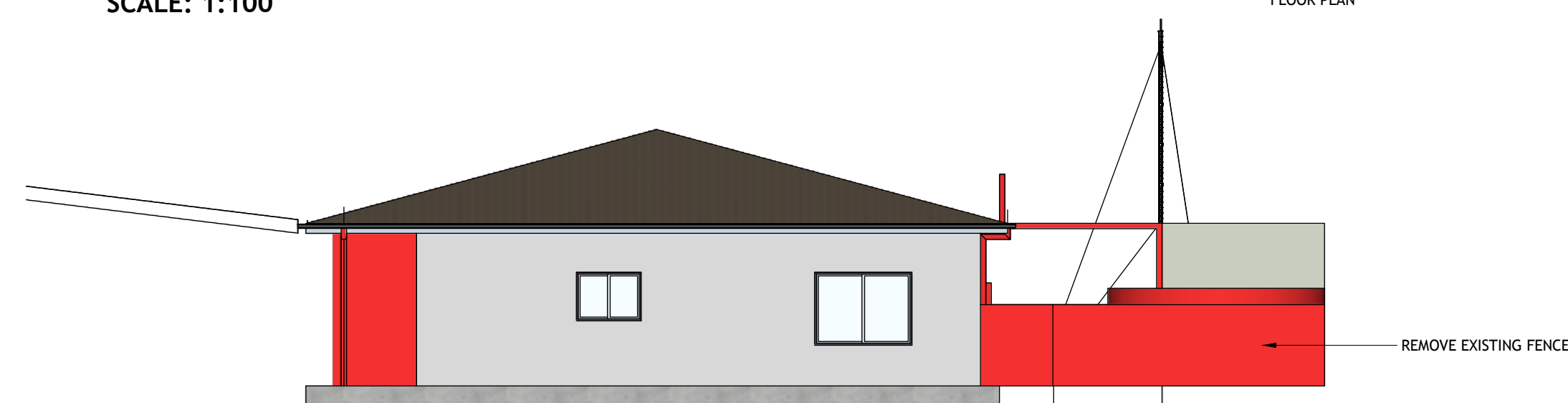
DEMOLITION PLAN
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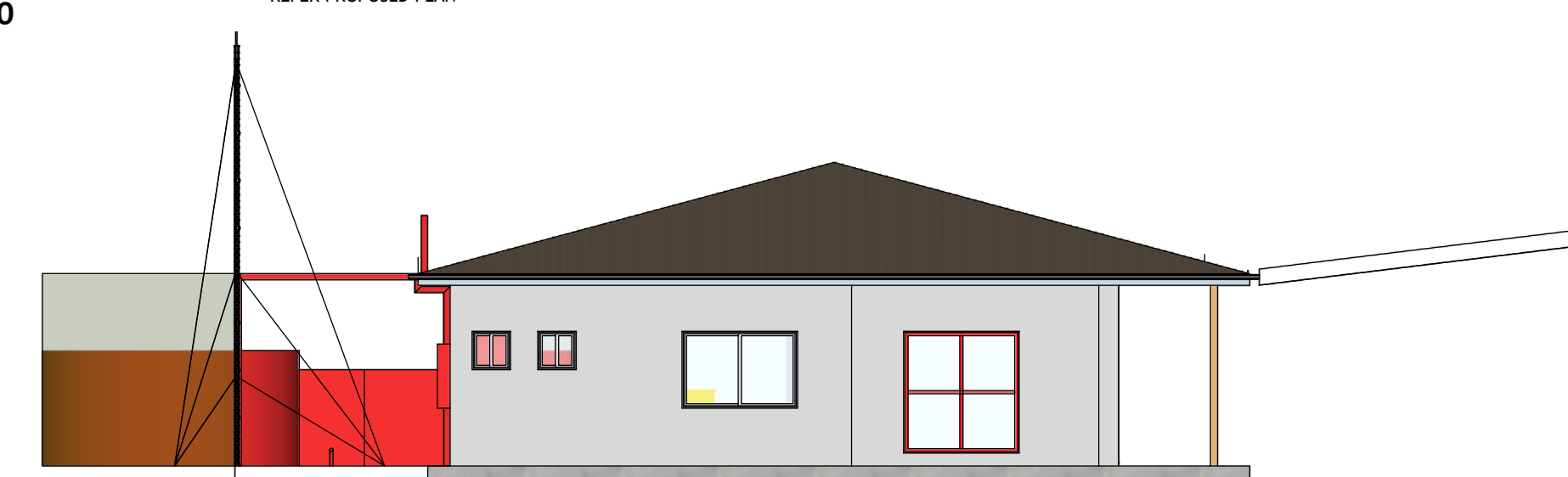
ELEVATION 2
SCALE: 1:100



ELEVATION 4
SCALE: 1:100



ELEVATION 1
SCALE: 1:100



ELEVATION 3
SCALE: 1:100

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DEMOLISHING PLAN

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EXISTING RESIDENCE GENERAL NOTES

REPAIR ALL CRACKS IN WALLS, MAKE GOOD FOR PAINT FINISH.
REPAIR / REPLACE SKIRTINGS AS NECESSARY, STYLE TO MATCH EXISTING PAINT FINISH
REPAIR / REPLACE ALL CORNICES AS NECESSARY STYLE TO MATCH EXISTING PAINT FINISH
ENSURE TERMITE PROTECTION IS APPLIED TO AUSTRALIAN STANDARDS

SYMBOL LEGEND

COL	COLUMN , REFER ENGINEERS DOCUMENTS FOR DETAILS
Wxx	WINDOW, REFER TO WINDOW SCHEDULE
Dxx	DOOR, REFER TO DOOR SCHEDULE
DP	DOWNPIPE 100mm X 75mm 'ZINCALUME' FINISH
HB	HAND BASIN
SK	SINK
WC	WATER CLOSET
FR	FRIDGE
OV	OVEN
MW	MICRO WAVE
CT	COOK TOP
DW	DISH WASHER
WM	WASHING MACHINE
FIRE	FIREPLACE
B	BATH
SH	SHOWER
RB	ROBE
IM	ICE MAKER

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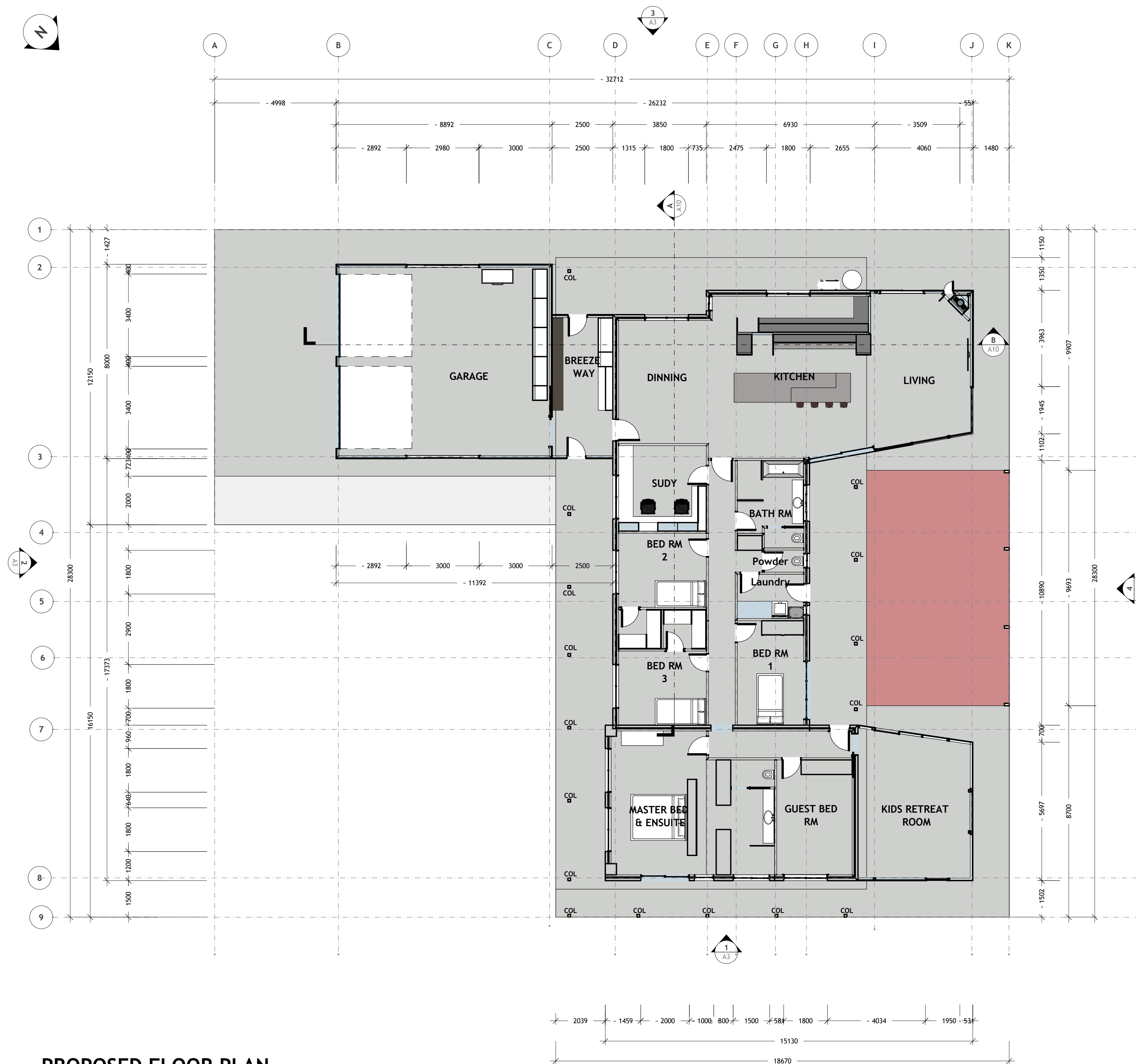
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DESCRIPTION
PROPOSED FLOOR PLAN

SCALE
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PROPOSED FLOOR PLAN
SCALE: 1:100

EXISTING RESIDENCE GENERAL NOTES

REPAIR ALL CRACKS IN WALLS, MAKE GOOD FOR PAINT FINISH.
REPAIR/ REPLACE SKIRTINGS AS NECESSARY, STYLE TO MATCH EXISTING PAINT FINISH
REPAIR/ REPLACE ALL CORNICES AS NECESSARY STYLE TO MATCH EXISTING PAINT FINISH
ENSURE TERMITE PROTECTION IS APPLIED TO AUSTRALIAN STANDARDS

WT-01 8mm SCYON MATRIX PANEL ON 19mm THICK SCYON VAVITY TRIM (INSTALLED TO MANUFACTURERS SPECIFICATIONS)
TIMBER STUDS INSTALLED TO ENGINEERS DOCUMENTATION, PACK WITH INSULATION AS SPECIFIED.
TOTAL WALL THICKNESS: 115mm NOMINAL

WT-02 2 x 13mm SOUNDHECK, FLUSHED, PAINT FINISHED.
TIMBER STUDS INSTALLED TO ENGINEERS DOCUMENTATION, PACKED WITH ACOUSTIC INSULATION AS SPECIFIED.
1 x 13mm SOUNDHECK PLASTERBOARD, FLUSHED, PAINT FINISHED.
(CONTINUE WALL CONSTRUCTION TO UNDERSIDE OF ROOF SHEET)

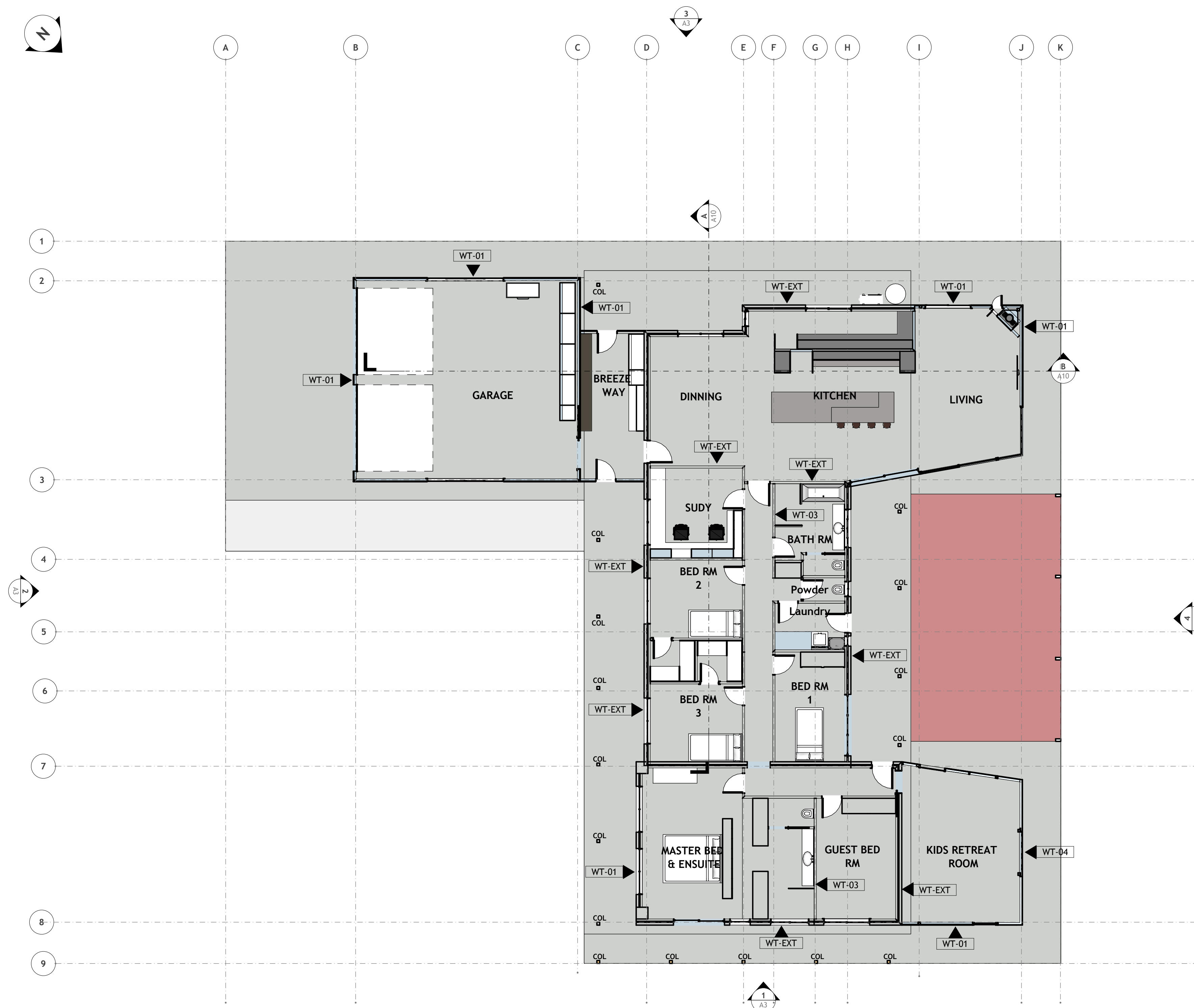
WT-03 2 x 13mm SOUNDHECK, FLUSHED, PAINT FINISHED.
TIMBER STUDS INSTALLED TO ENGINEERS DOCUMENTATION, PACKED WITH ACOUSTIC INSULATION AS SPECIFIED.
1 x 9mm VILLABOARD (TO WET AREA SIDE)
(CONTINUE WALL CONSTRUCTION TO UNDERSIDE OF ROOF SHEET)

WT-04 7.5mm HARDITEX (INSTALLED TO MANUFACTURERS SPECIFICATIONS), DULUX ACRATEX 951 TROWEL ON TUSCANY SUPER FINE, PAINT FINISH, (EXTERNAL) VAPOUR PERMEABLE BARRIER AS SPECIFIED.
TIMBER STUDS INSTALLED TO ENGINEERS DOCUMENTATION, INSULATION AS SPECIFIED.

WT-EXT EXISTING WALL, MADE GOOD, PAINT FINISH

NOTE REFER TO ENGINEERS DOCUMENTS FOR ALL STUD REQUIREMENTS

(ALLOW TO PROVIDE NOGGINGS, ETC AS REQUIRED TO SUPPORT ALL WALL HUNG ITEMS)



WALL TYPE SCHEDULE
SCALE: 1:100

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WALL TYPE SCHEDULE

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ELECTRICAL NOTES

- 1 ELECTRICIAN TO CONFIRM FINAL POSITIONING OF ALL LIGHTING SETOUT WITH CLIENT PRIOR TO INSTALLATION
- 2 ADDITIONAL POWER POINTS MAY BE REQUIRED FOR POSSIBLE FANS ON FIREPLACES, CONFIRM WITH FIREPLACE MANUFACTURER IF THIS IS REQUIRED AND INSTALL IF NECESSARY
- 3 ALL ELECTRICAL FITTINGS TO BE CONFIRMED WITH CLIENT FOR APPROVAL PRIOR TO PURCHASE
- 4 LIGHTING POSITIONS TAKE PRECEDENCE OVER MECHANICAL SERVICES, REFER TO MECHANICAL ENGINEERING DOCUMENTS FOR DETAILS

ELECTRICAL LEGEND

- ⌋ SINGLE GPO
- ⌋ DOUBLE GPO
- 10A UNLESS OTHERWISE NOTED
- MOUNTING HEIGHTS (TOP OF PLATE)
- A 300 AFL E 600 (INSIDE JOINERY UNIT)
- B 900 AFL X TO SUIT EQUIPMENT
- C 1000 AFL
- D 1200 AFL
- ⌋ TELEVISIONPOINT
- WIRE TO AERIAL ON ROOF SPACE
- SB SWITCH BOARD
- S SMOKE ALARM

LIGHTING LEGEND

- ⌋ SINGLE POLE SWITCH
- RECESSED LED DOWNLIGHT, LOW VOLTAGE LUMINAIRE CIDLUME - ML - D1590 - WARM WHITE
- LED SPOT LIGHT, LOW VOLTAGE LUMINAIRE CIDLUME - ML - A1590 - WARM WHITE
- ⌋ CEILING FAN - AS SELECTED BY CLIENT
- ⌋ CEILING EXHAUST
- ⌋ GAS POINT

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DESCRIPTION
ELECTRICAL & LIGHTING PLAN
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ELECTRICAL & LIGHTING PLAN
SCALE: 1:100

SITE CLASSIFICATION:

AS 2870-2011 TABLE 4D
CLASS TYPICAL SOIL CALASS M

NOTE:

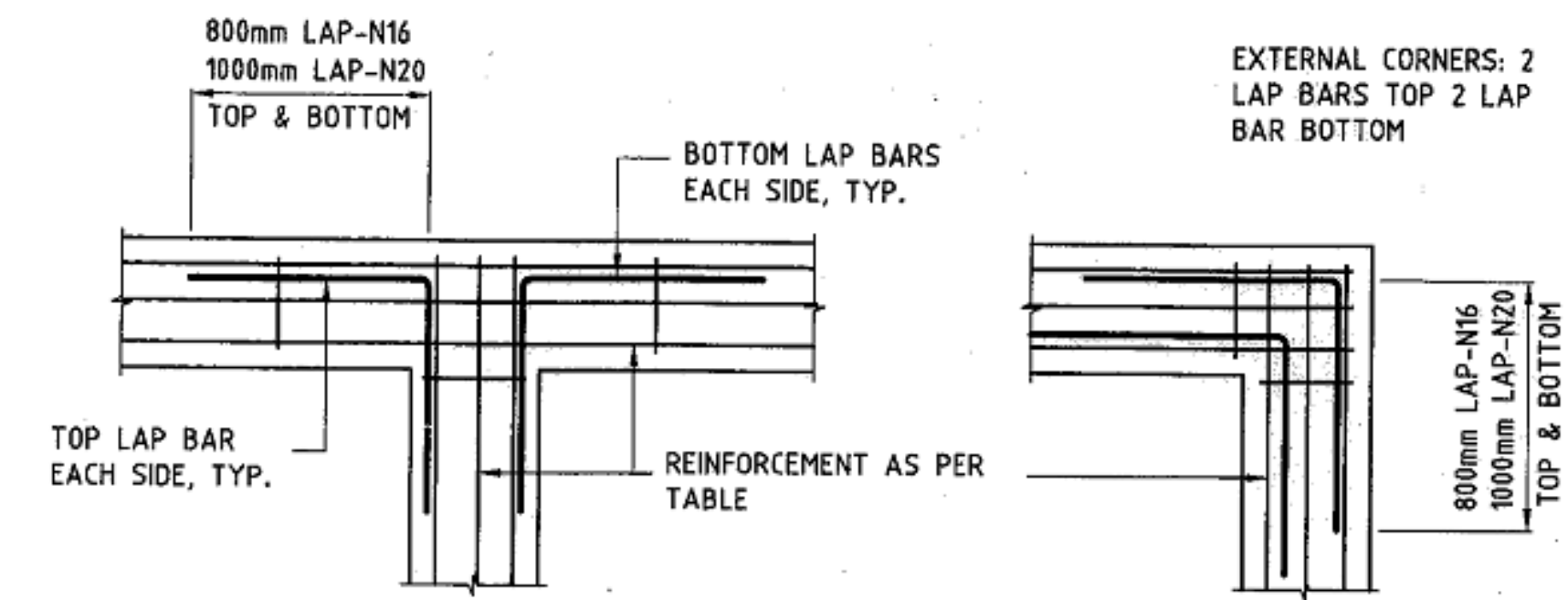
SET DOWN STRIP FOOTING TO SUIT PAVING LEVEL
SSET DOWN BASE OF FOOTING TRENCH SO THAT SPECIFIED
BEAM DEPTH IS NOT REDUCED
PROVIDE 110 DIAMETER SLEEVE FOR ANY FUTURE STORMWATER REQUIREMENTS.

PLUMBING NOTE:

WHERE A PLUMBING CONDUIT (OR CONDUIT LAGGING) IS LOCATED WITHIN 100mm OF THE BASE OF THE TRENCH, THE TRENCH MUST BE DEEPEMED LOCALLY TO PROVIDE A MINIMUM OF 100mm CLEARANCE BETWEEN THE CONDUIT (OR LAGGING) AND THE BASE OF THE TRENCH. THE DEEPEMED SECTION SHALL EXTEND FOR A DISTANCE FO NOT LESS THAN 1.0m EACH SIDE OF THE CONDUIT

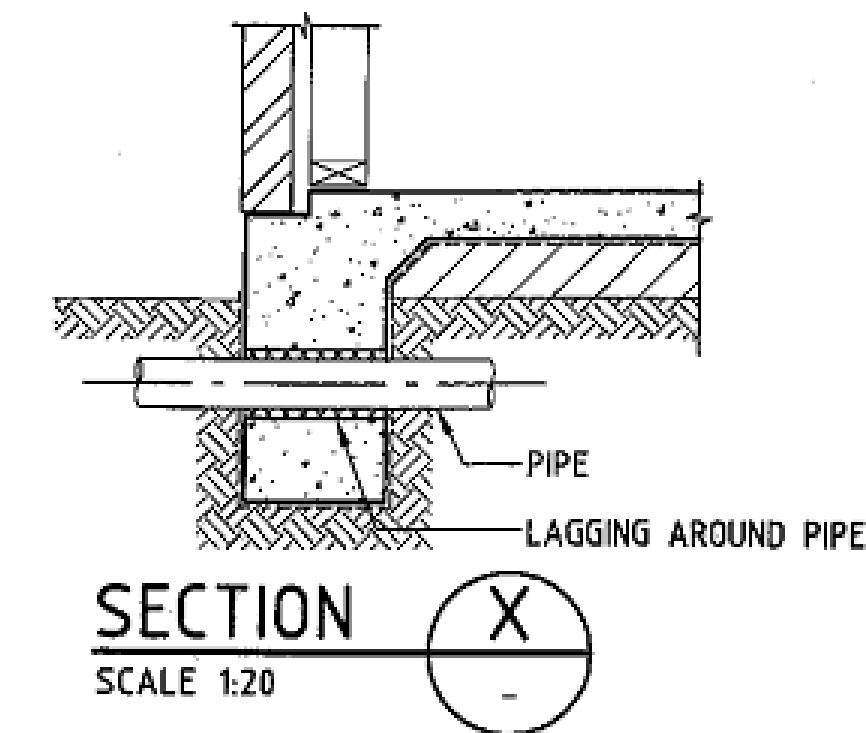
NOTES

REFER TO ARCHITECTURAL DRAWING FOR A SETOUT DIMENSIONS AND LEVELS AND WET AREA SET DOWNS.



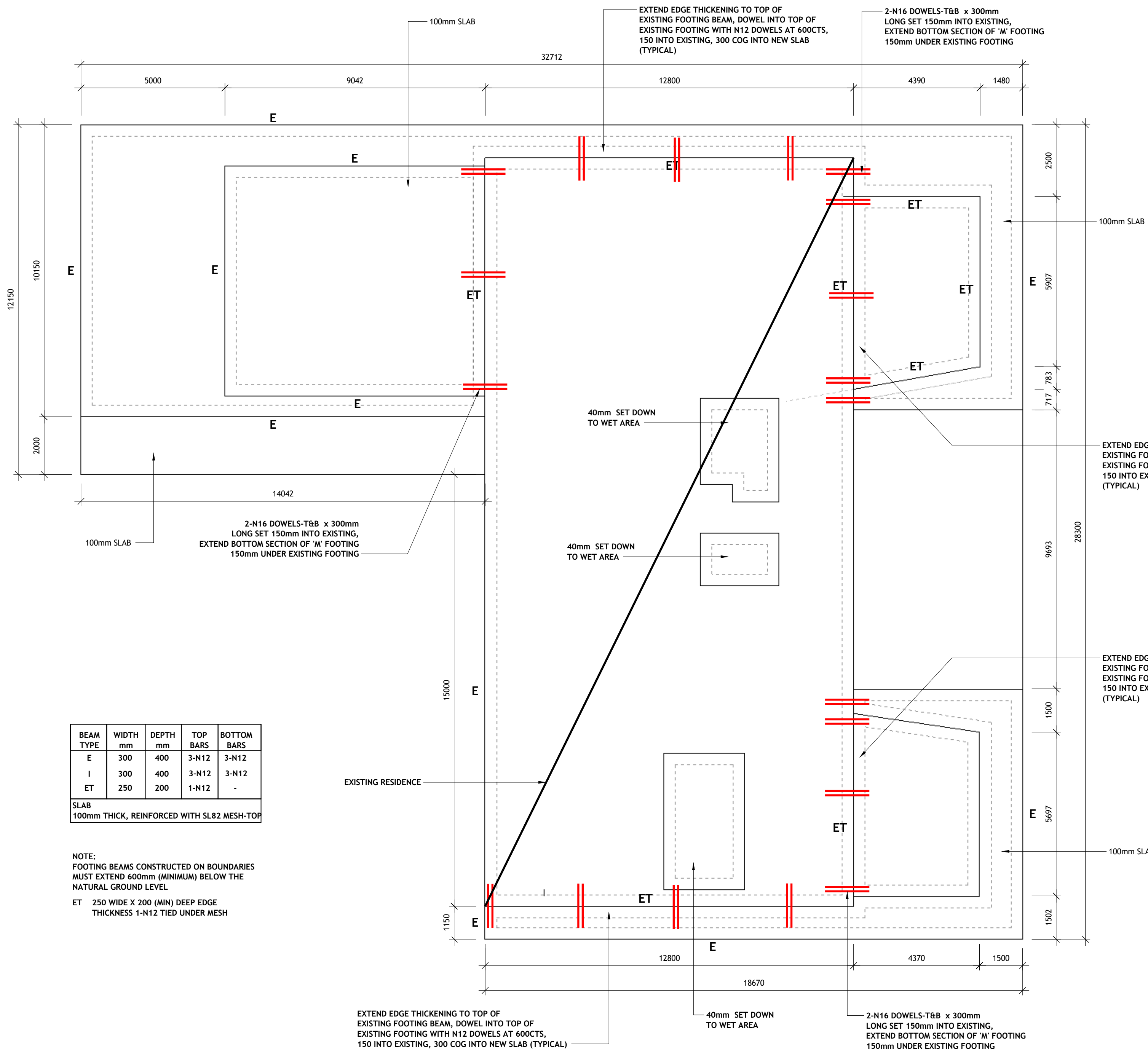
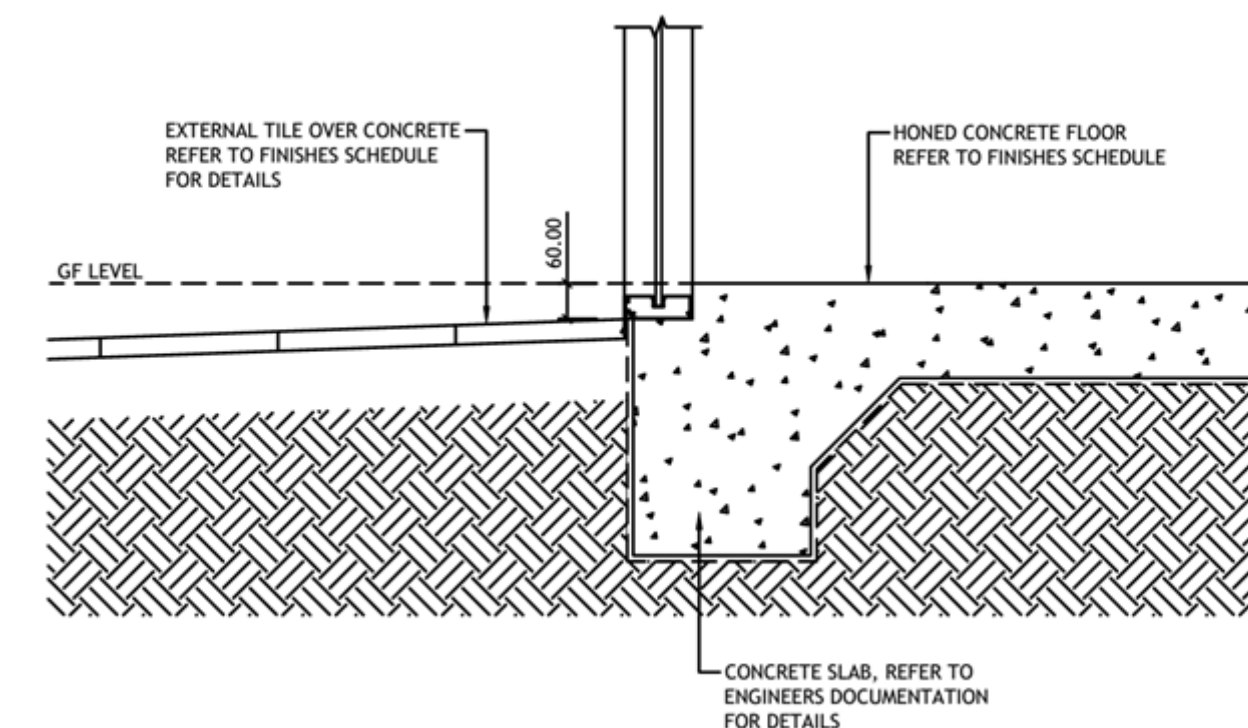
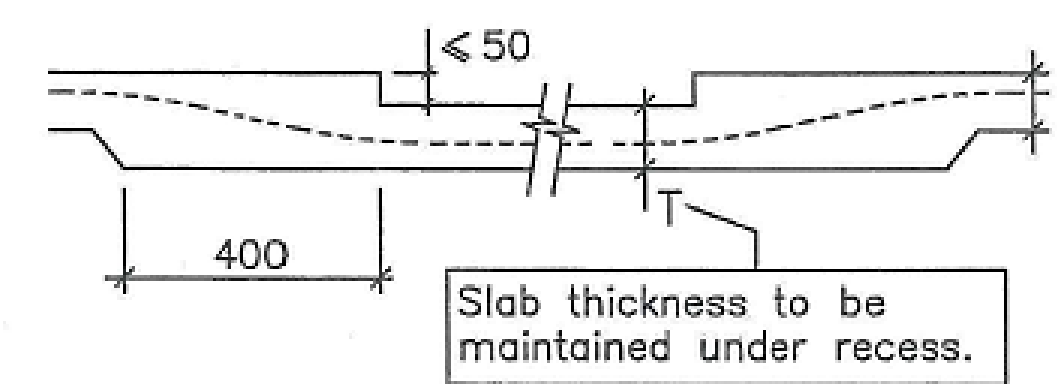
EXTERNAL T-INTERSECTION:
2 LAP BARS TOP 2 LAP BARS BOTTOM

TYPICAL BEAM JUNCTION DETAILS
NOT TO SCALE



PIPE LAGGING REQUIREMENTS:

CLASS A, S & M, M-D SITES - 20mm CLOSED CELL POLYETHYLENE
CLASS H,D, E-D SITE - 40mm CLOSED CELL POLYETHYLENE
FLEXIBLE CONNECTIONS SHALL BE PROVIDED IN PIPES THROUGH EXTERNAL BEAMS IN CLASS H-D & E-D SITES.



BEAM TYPE	WIDTH mm	DEPTH mm	TOP BARS	BOTTOM BARS
E	300	400	3-N12	3-N12
I	300	400	3-N12	3-N12
ET	250	200	1-N12	-

SLAB
100mm THICK, REINFORCED WITH SL82 MESH-TOP

NOTE:
FOOTING BEAMS CONSTRUCTED ON BOUNDARIES MUST EXTEND 600mm (MINIMUM) BELOW THE NATURAL GROUND LEVEL.

ET 250 WIDE X 200 (MIN) DEEP EDGE THICKNESS 1-N12 TIED UNDER MESH

SLAB PLAN
SCALE: 1:100

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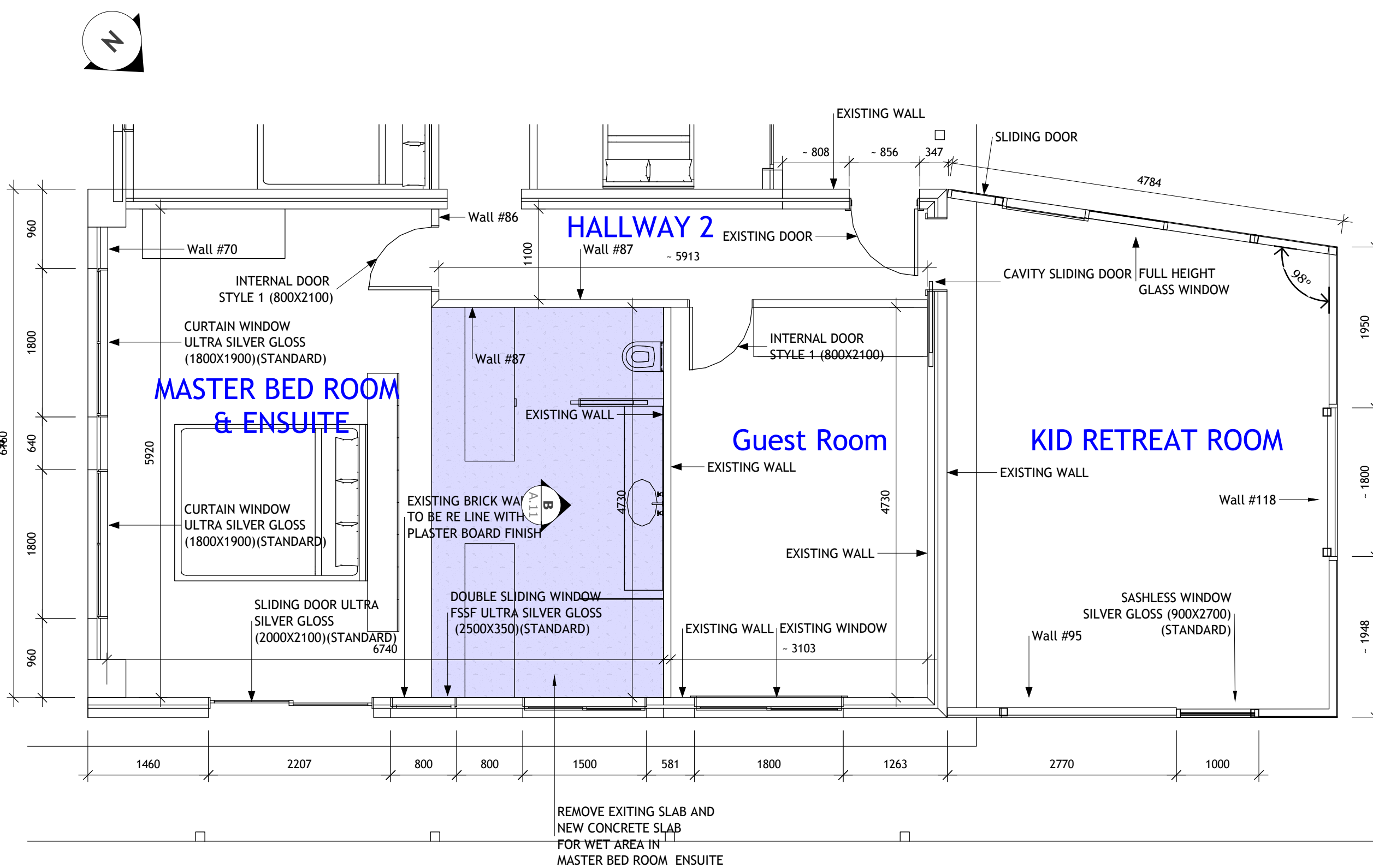
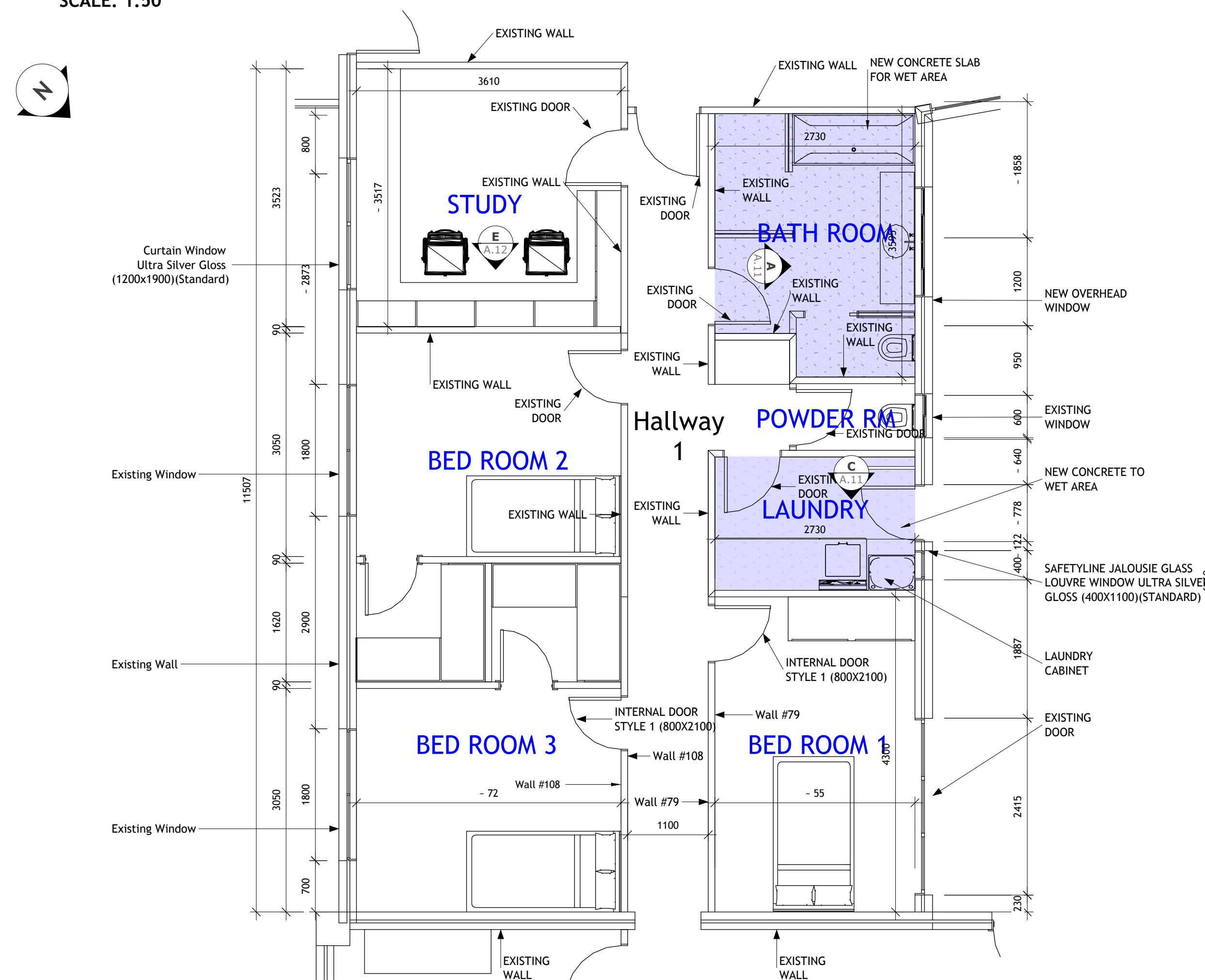
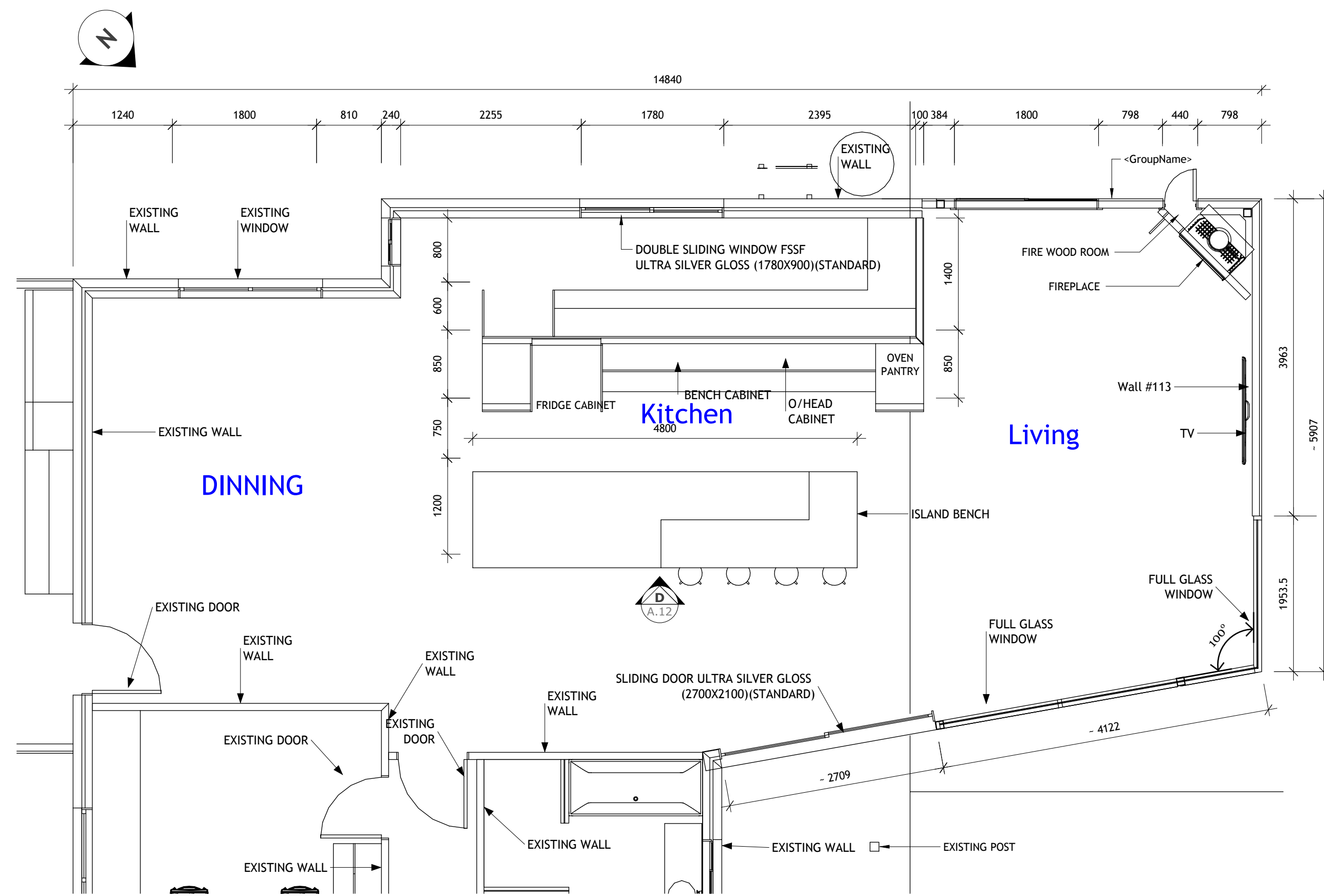
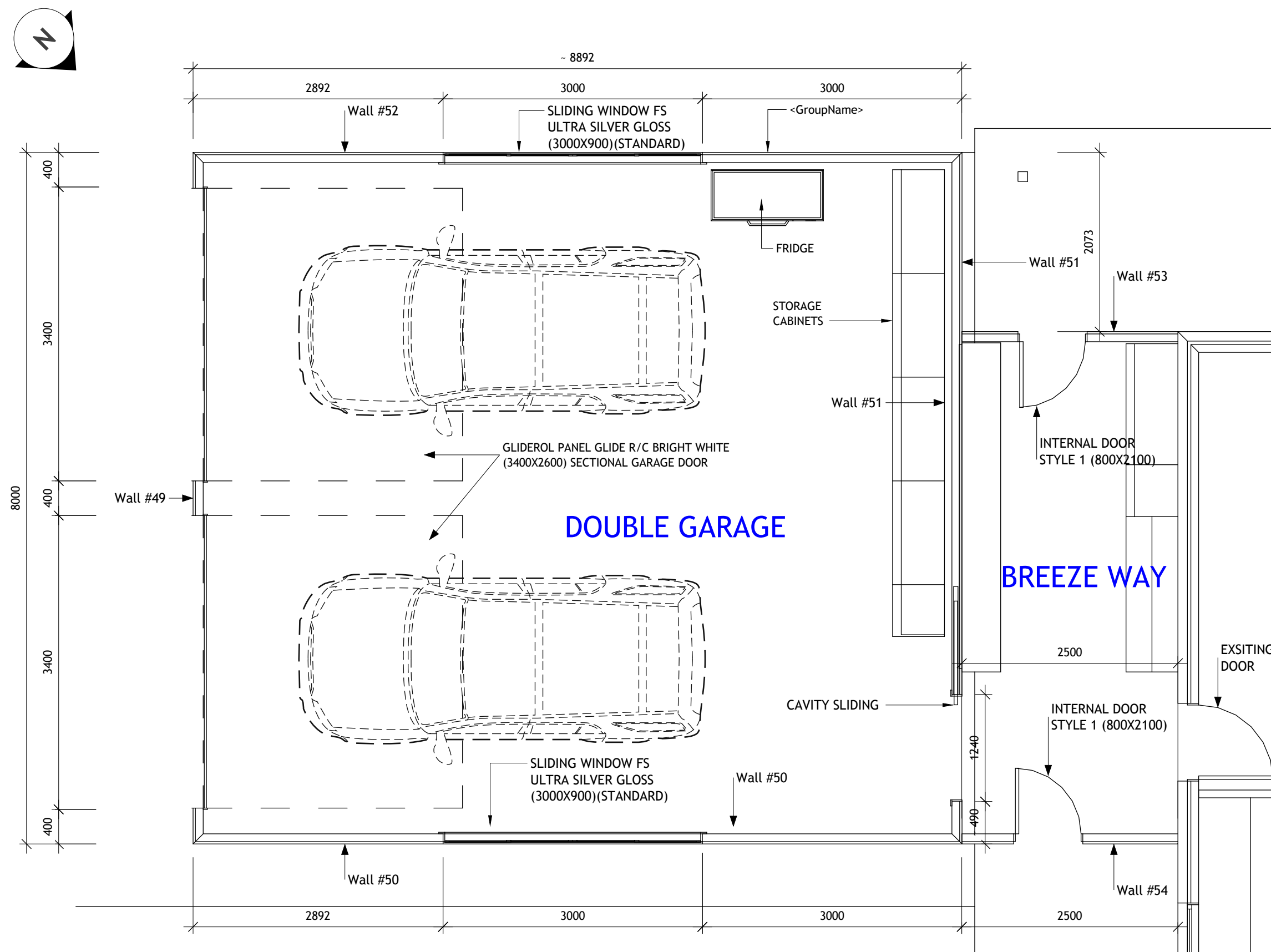
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DESCRIPTION
SLAB PLAN

SCALE
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DESCRIPTION
DETAIL FLOOR PLAN

SCALE
1:100

NOTES:

MAINTAIN A MINIMUM CLEARANCE OF 6000 BETWEEN FRESH AIR INTAKE VENTS AND SEWER VENTS AND EXHAUST OUTLETS.

DO ALL INCIDENTAL WORK - INSTALL ALL CAPPINGS AND FLASHINGS REQUIRED TO ENSURE THE ROOF IS WEATHERPROOF

FLASH AROUND ALL PENETRATIONS, FASCIA, BARGE, GUTTERS AND CLADDING ETC AS REQUIRED FOR A NEAT WEATHERPROOF INSTALLATION

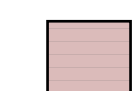

PROVIDE EXPANSION JOINTS TO ALL BOX GUTTERS AS REQUIRED TO AS3500

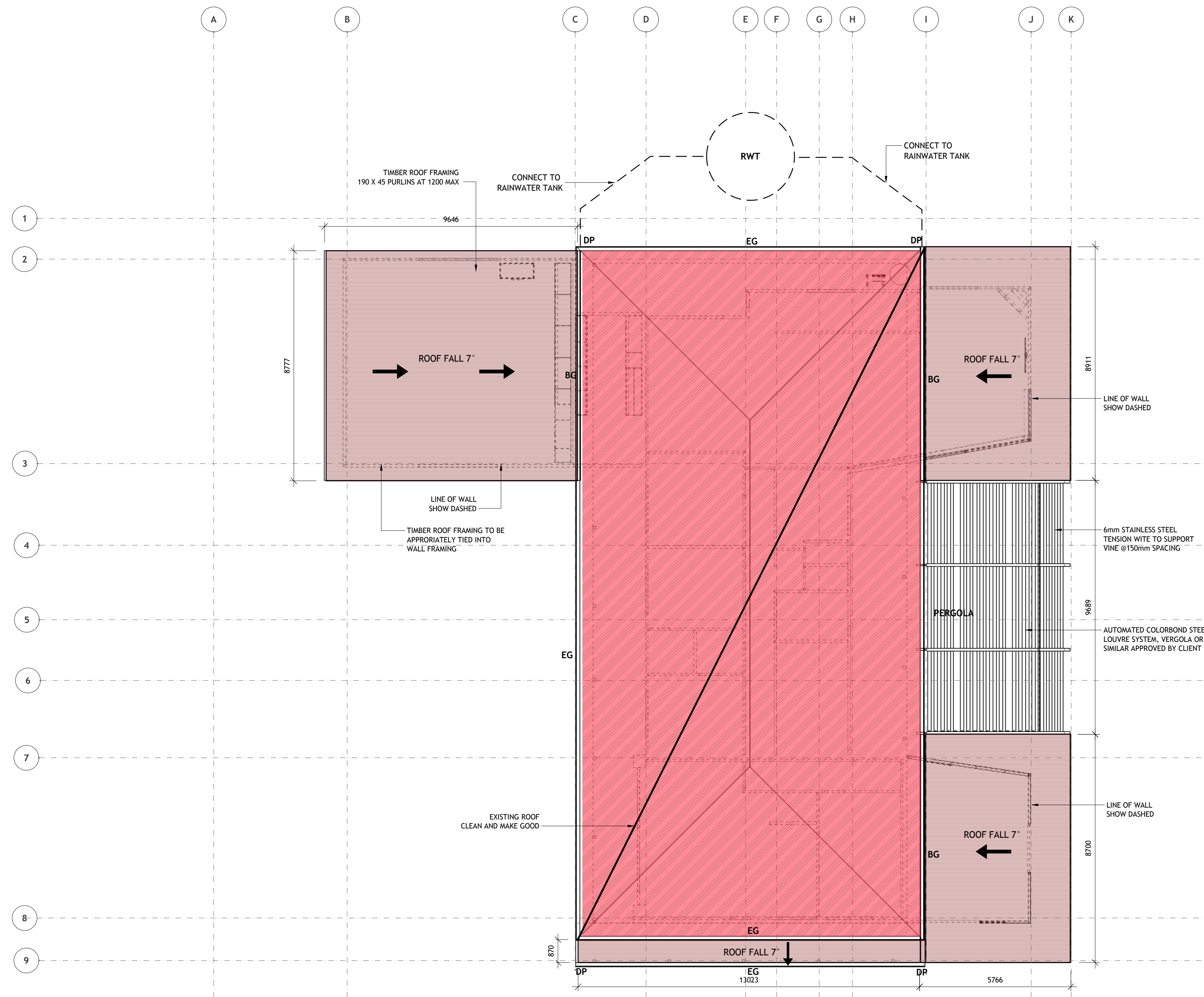
STORMWATER DRAINAGE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS3500

ALL ROOF SLOPES ARE APPROXIMATE. TOP OF PURLIN AND PARAPET HEIGHTS WHERE NOMINATED ARE INDICATIVE VALUE.

EXISTING GUTTERS ARE TO BE RESET OR REPLACED AS REQUIRED TO DRAIN PROPERLY TO ALTERED AND NEW OUTLETS AND EXTENSIONS.

ROOF LEGEND

-  REVOLUTION ROOFING REV-5 ROOF SHEET, 0.42mm BMT (R2), LAID OVER FOIL FACED INSULATION BLANKET. COLOURBOND COLOUR AS PER SCHEDULE, PITCH TO MATCH EXISTING
- DP DOWNPIPE 100mm x 75mm, FINISHES AS PER SCHEDULE
- EG EDGE GUTTER AS PER FINISHES SCHEDULE
- SK 600mm DIAMETER SUN TUBE
-  FLUE



ROOF PLAN
SCALE: 1:100

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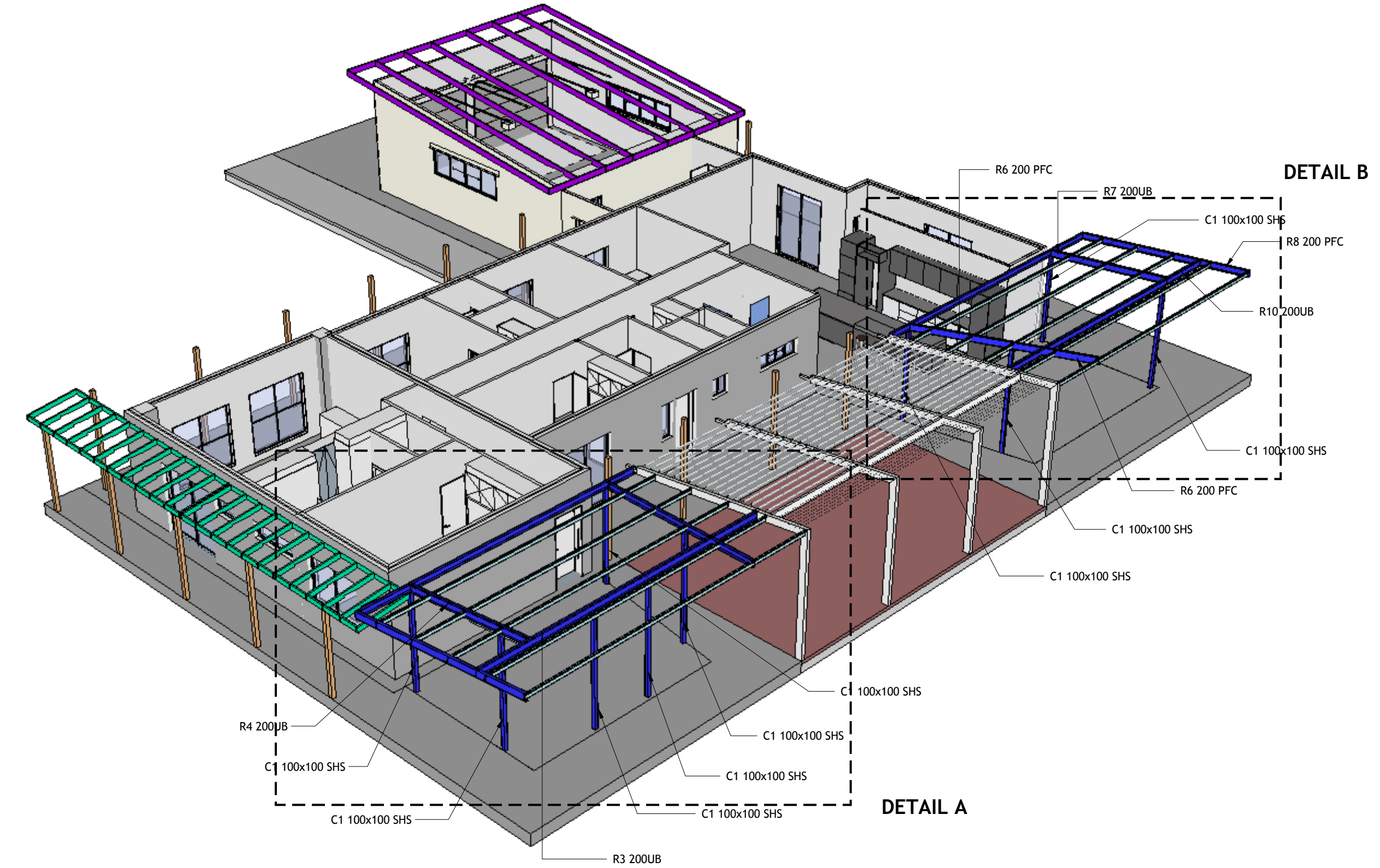
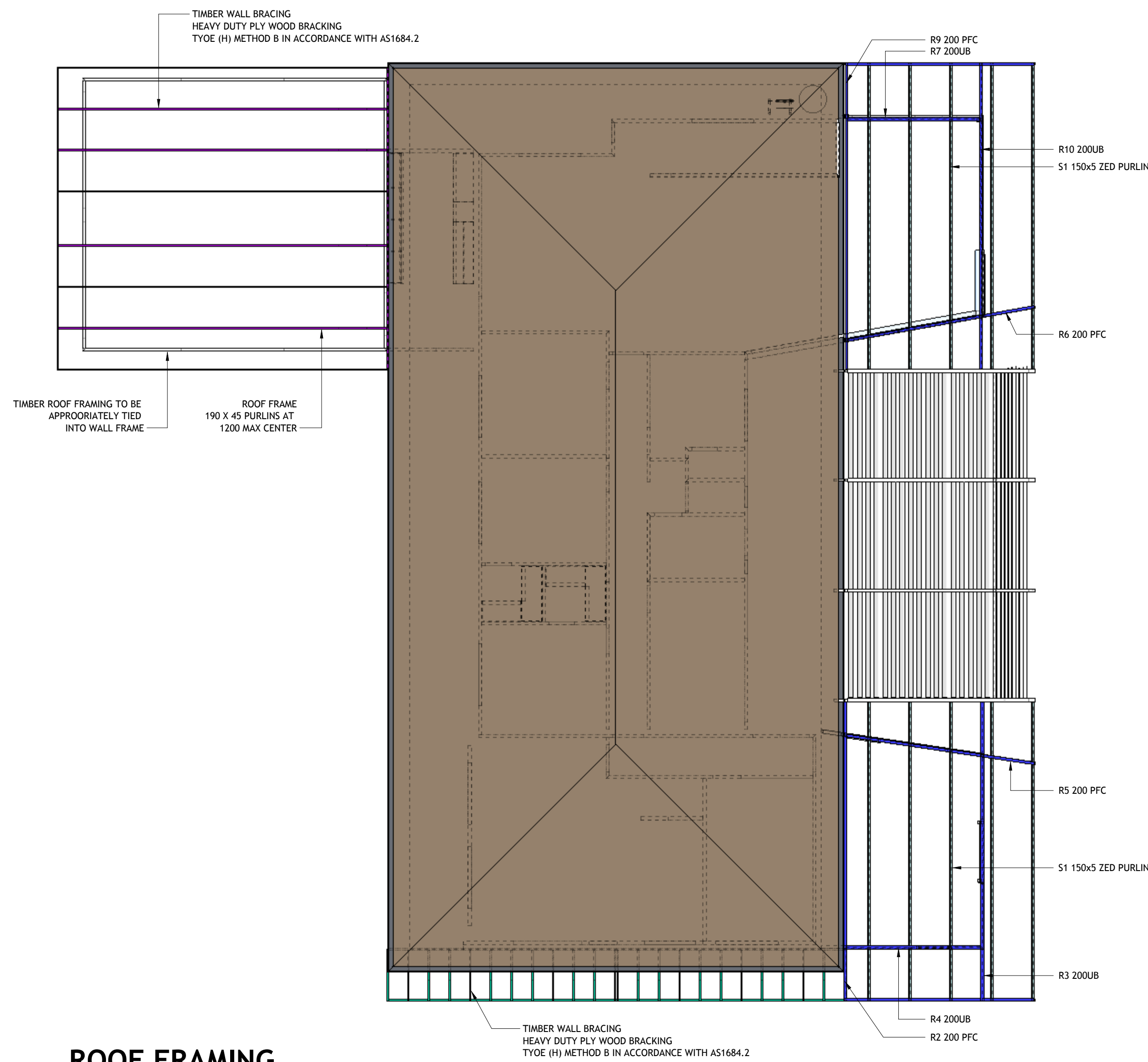
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ROOF FRAMING SCHEDULE

190 X 45 PURLINS AT 1200 MAX CENTER

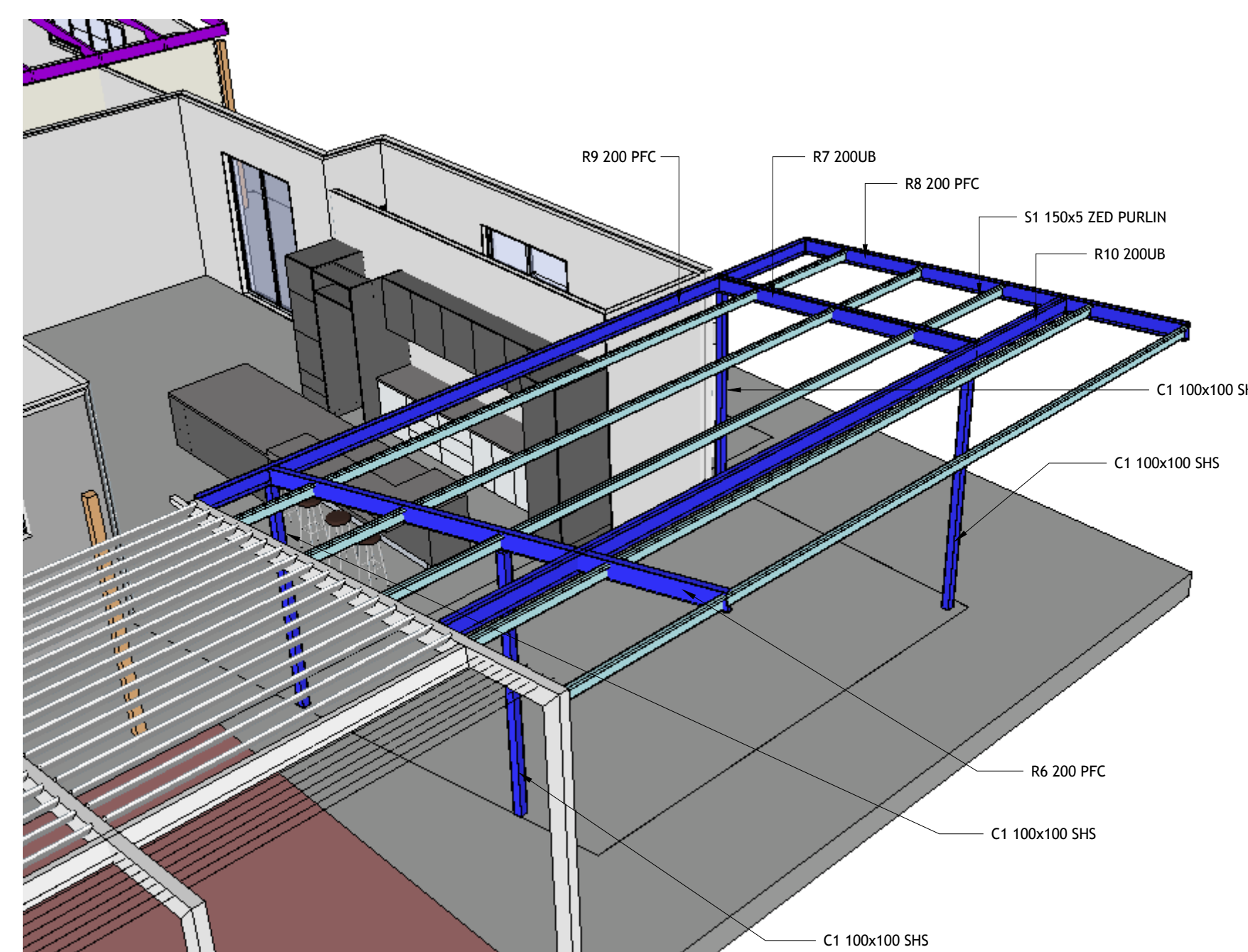
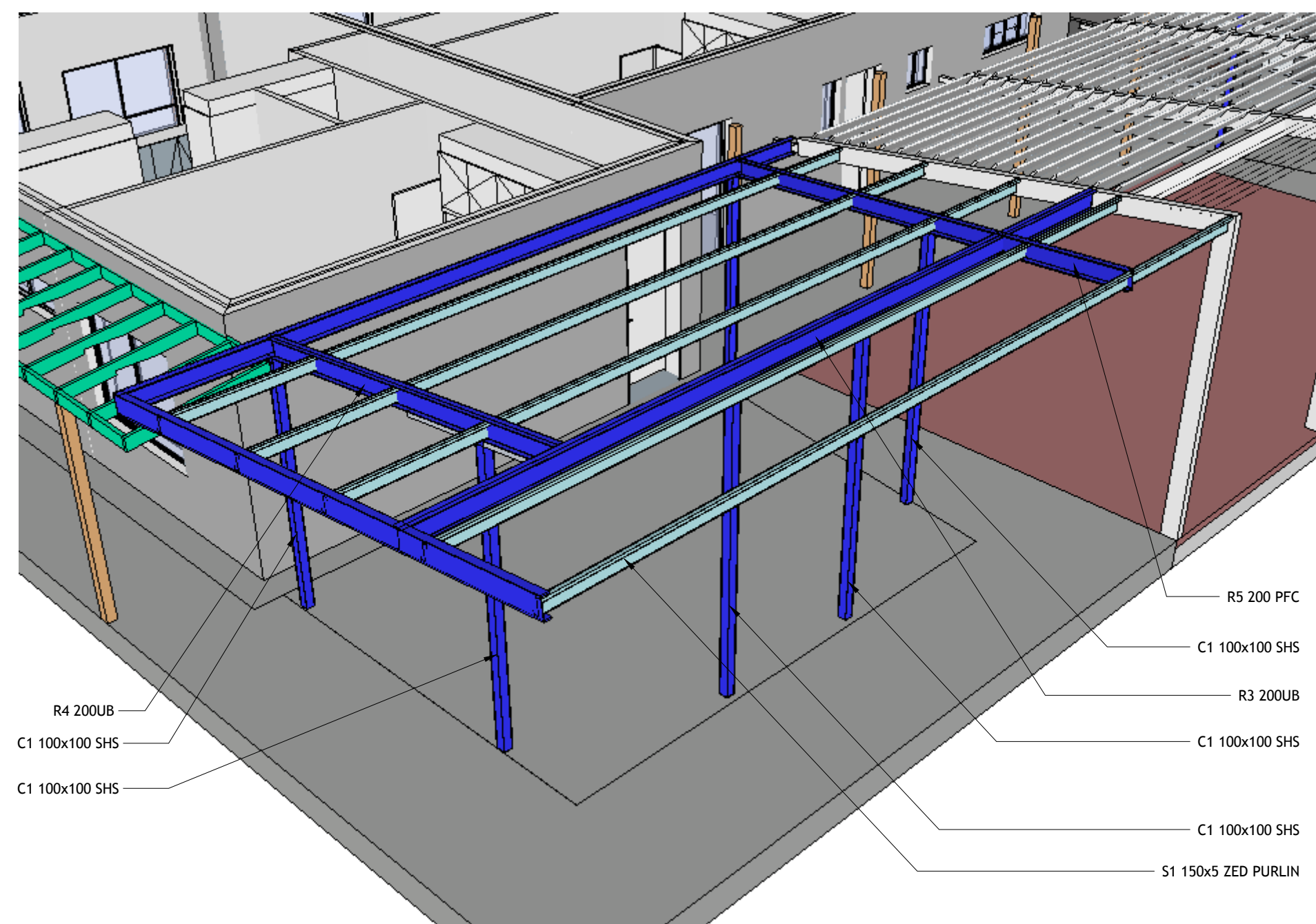
ROOF FRAME LEGEND

R1-2, R4-R9	200 PFC
R3 & R10	200 UB
C1	100 x 100 x 5.0 SHS STEEL COLUMN
S1	150 X 5 ZED PURLIN



ROOF FRAMING
SCALE: 1:100

ROOF FRAMING (ISO)
SCALE: NOT TO SCALE



ROOF FRAMING DETAIL A
SCALE: NOT TO SCALE

ROOF FRAMING DETAIL B
SCALE: NOT TO SCALE

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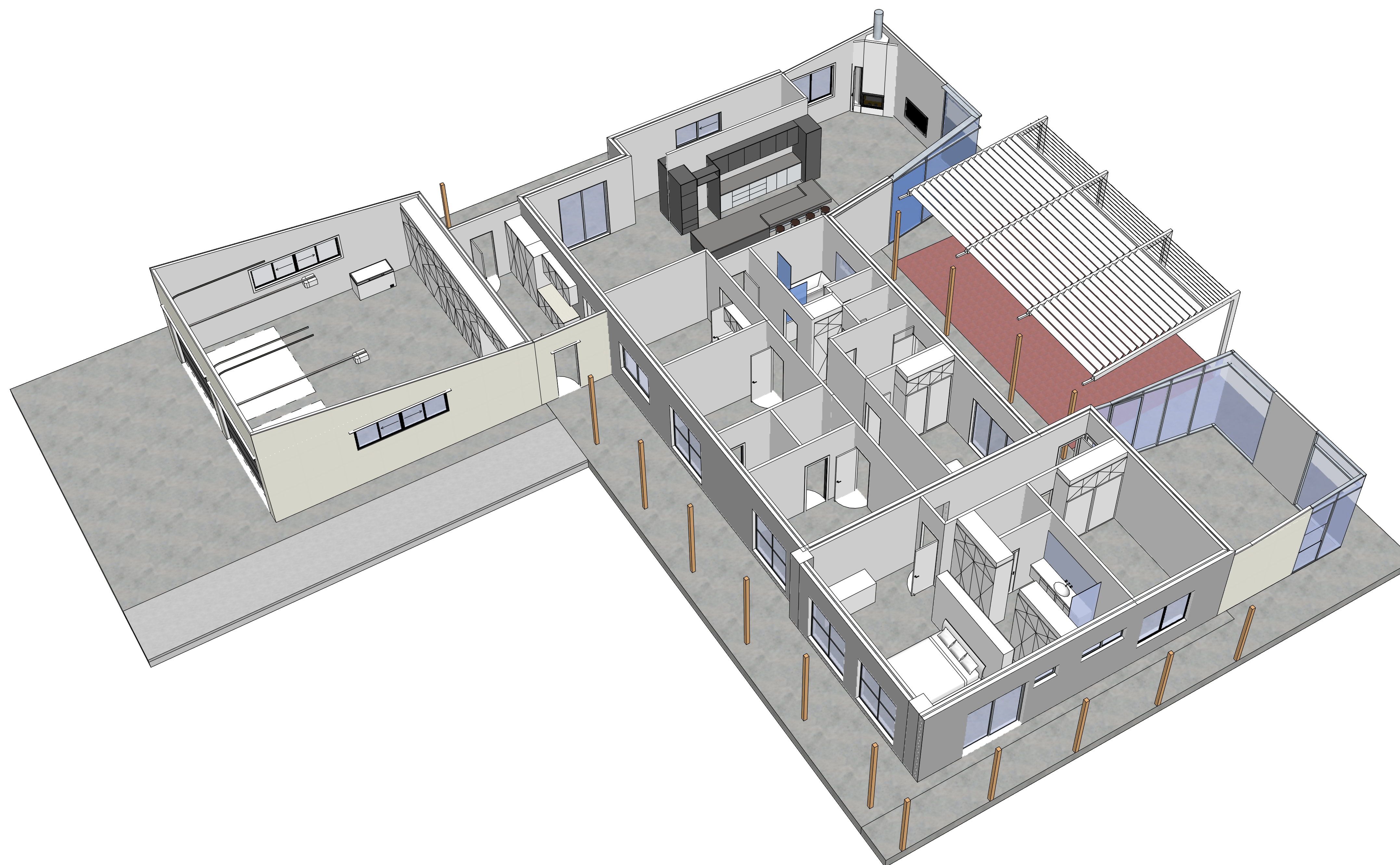
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ISO VIEW

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GENERAL NOTES

GENERAL

FIBER CEMENT LINING TO BE USED IN ALL WET AREAS IN LIEU OF PLASTERBOARD LINING
ALL GLASS TO WINDOWS, DOORS AND SHOWER SCREENS IN ACCORDANCE WITH AS1288
PROTECT PUBLIC VERGE AND REINSTATE TO CONDITION IN ACCORDANCE WITH COUNCIL REQUIREMENTS
REFER TO ALL MANUFACTURER'S DETAILS AND SPECIFICATIONS PRIOR TO INSTALLATION / CONSTRUCTION

WET AREA NOTE

ALL WATERPROOFING & WET AREA DETAILS ARE TO BE IN ACCORDANCE WITH AS 3740 AND THE ADDITIONAL REQUIREMENTS OF MINISTER'S SPECIFICATION SAF1.7-2004

JOINERY, FITTING & FIXTURES NOTE

REFER TO INTERIOR SPECIFICATION FOR SELECTION OF ALL INTERNAL FITTINGS AND FIXTURES AND TO JOINERY FOR JOINERY DETAILS. CHECK ALL FITTINGS AND LOCATION PRIOR TO CONSTRUCTION UNDERFLOOR SERVICES.

STRUCTURAL + CIVIL ENGINEER

REFER TO TIMBER CONSULTANT'S DRAWINGS AND SPECIFICATIONS AND SPECIFICATION FOR ALL TIMBER FRAME CONSTRUCTION AND TIMBER TRUSS DESIGN

ENERGY RATING COMPLIANCE

ALL INSULATION, GLAZING SPECIFICATIONS AND DETAILS TO COMPLY WITH ENERGY ASSESSMENT REPORT.

WALL TYPES NOTES

COURSING - COURSING OF BRICKWORK/ BRICKWORK SHOWN INDICATIVELY, BUILDER TO SET OUT ALL COURSING AS REQUIRED TO SUIT THE PROPOSED CONSTRUCTION.

COTTER PROJECTS
9 Robert St
Unley, 5061
South Australia

CLIENT
KOCH RESIDENCE
15 KELLYS & RAPSONS ROAD
NEUARPURR

PROJECT
Koch Residence

DRAWN BY
JH

ISSUE
26 06 15

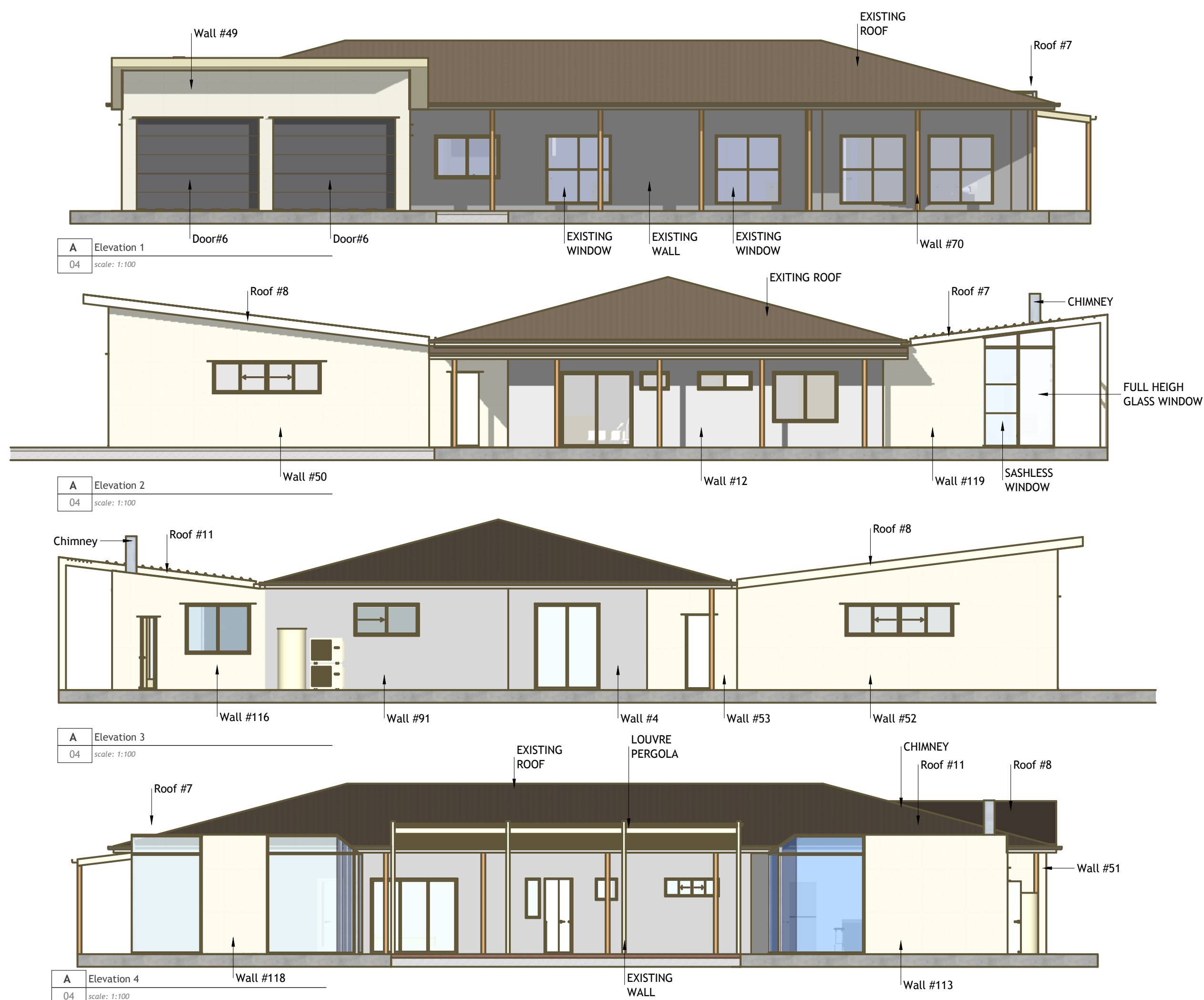
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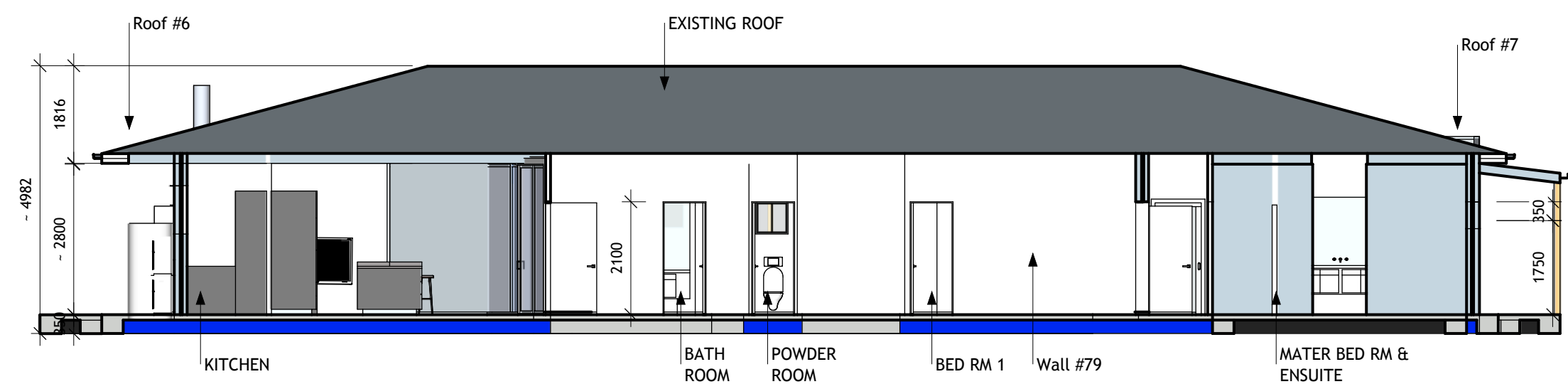
DESCRIPTION
Elevations

SCALE
1:100

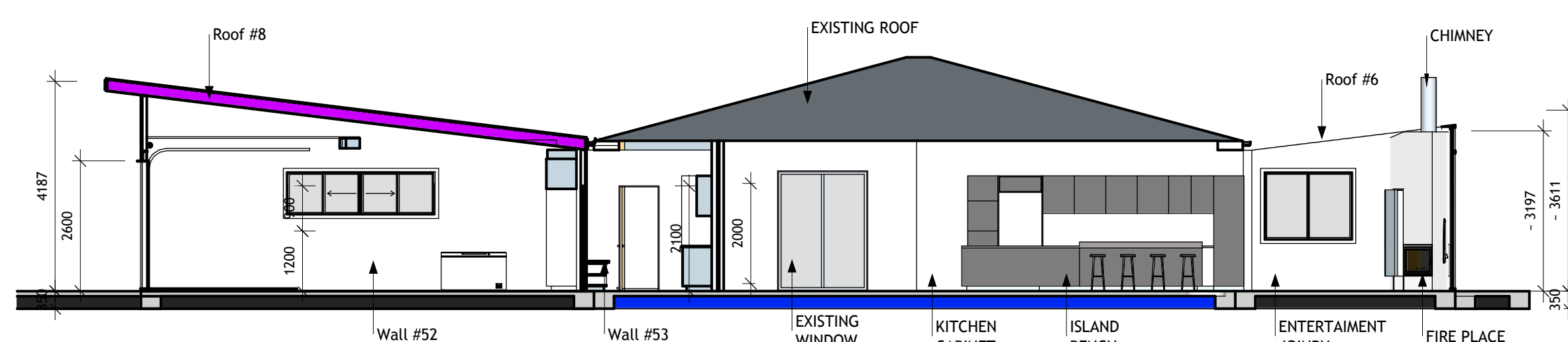
A0.11



A Elevation 1
04 scale: 1:100



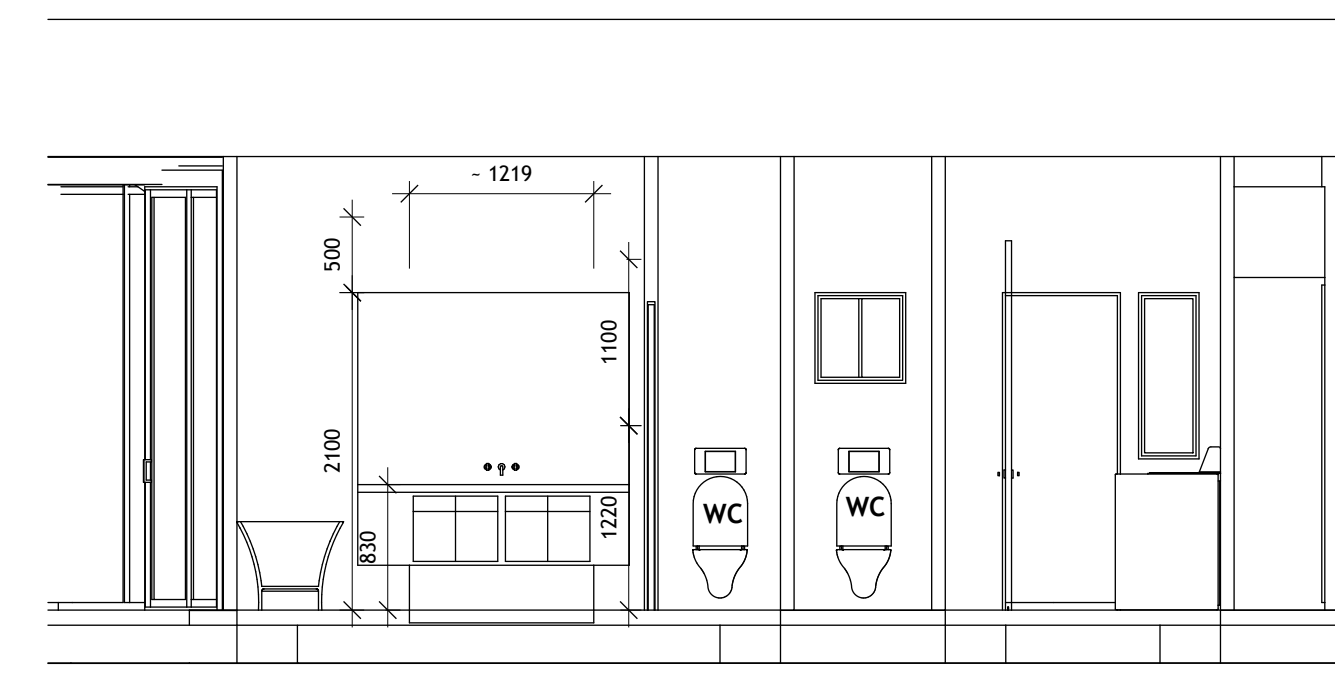
A Section A
01 scale: 1:100



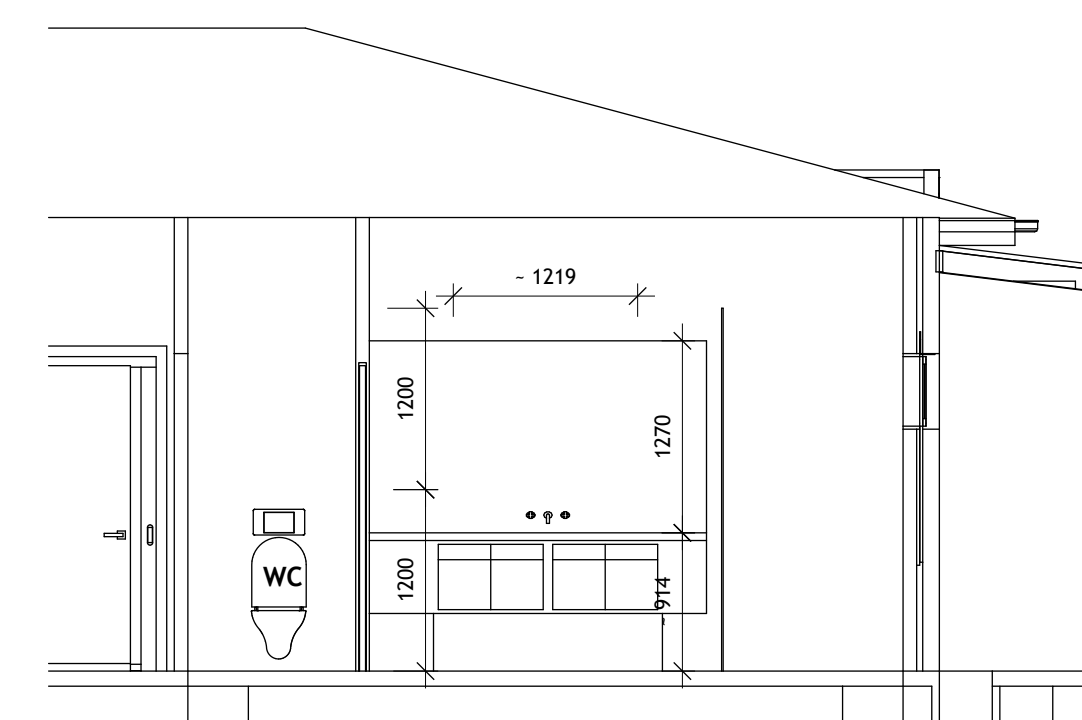
B Section B
01 scale: 1:100

NOTES

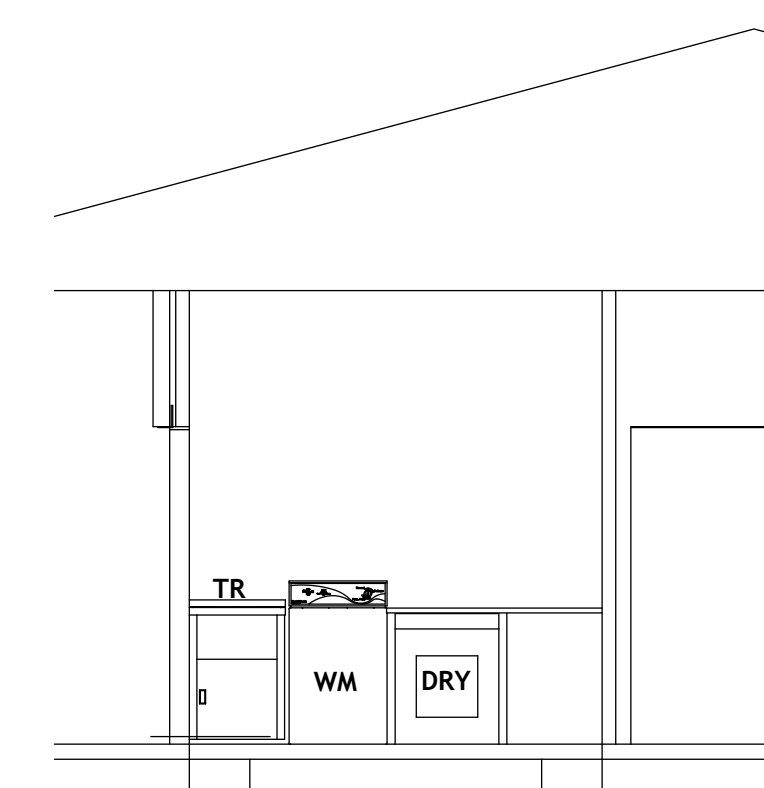
- 1) TIMBER FRAMING TO ENGINEER'S DETAILS.
- 2) FOOTINGS TO ENGINEER'S DETAILS.
- 3) ALL SLAB EDGES TO HAVE 75MM CLEAR VISIBLE TERMITE BARRIER, UNLESS OTHERWISE INDICATED.
- 4) ALL EXPOSED CONCRETE (INCLUDING SLAB EDGES) TO HAVE CLASS 2 FINISH TO ENGINEER'S DETAILS.
- 5) TERMIMESH TO BE INSTALLED TO ALL SLAB PENETRATIONS, SLAB CONTROL JOINTS AND FOOTING/SLAB JOINTS, AND WHERE 75MM VISIBLE SLAB EDGE IS NOT ACHIEVABLE.



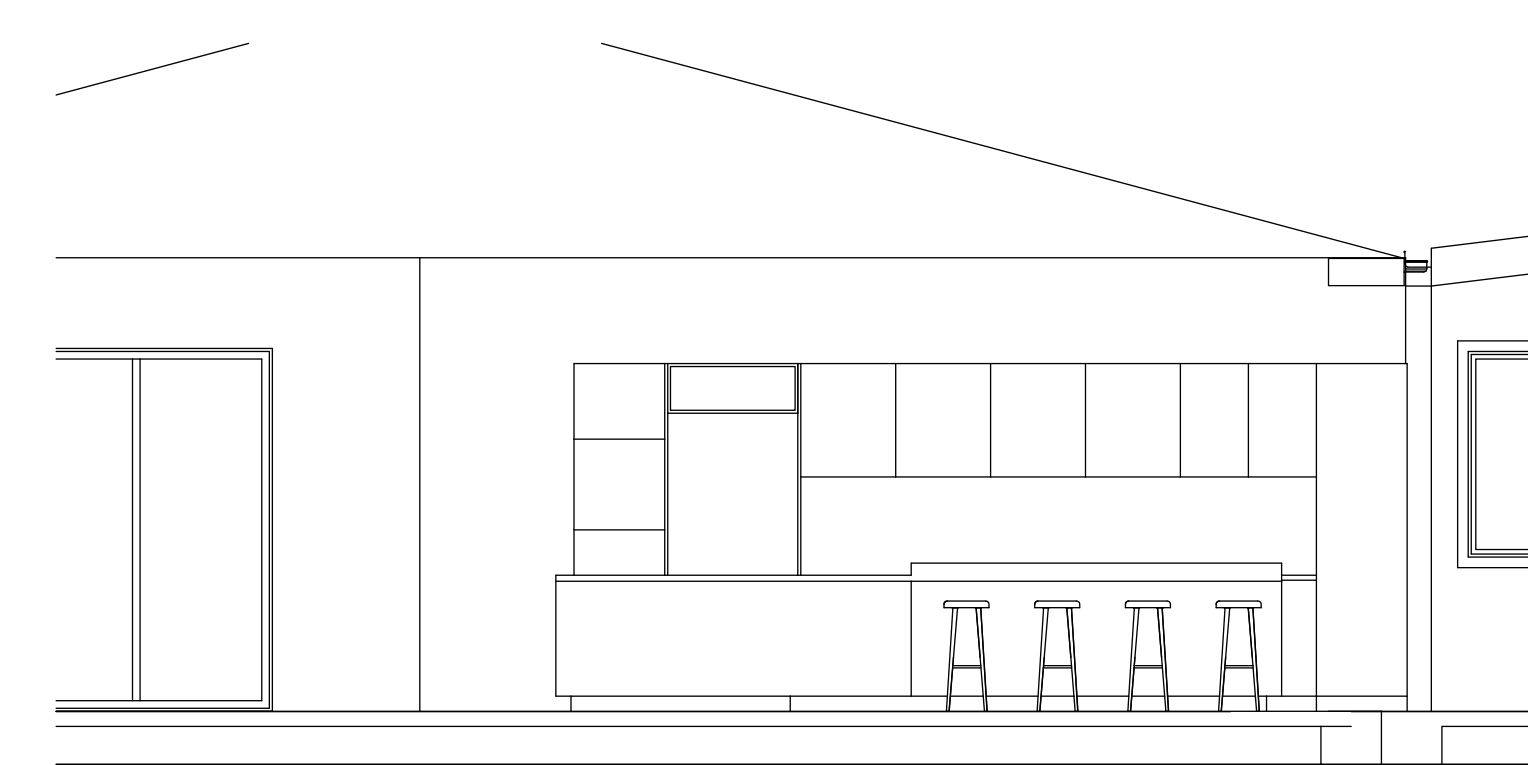
A Bath Room & Powder Room Elevation
01 scale: 1:50



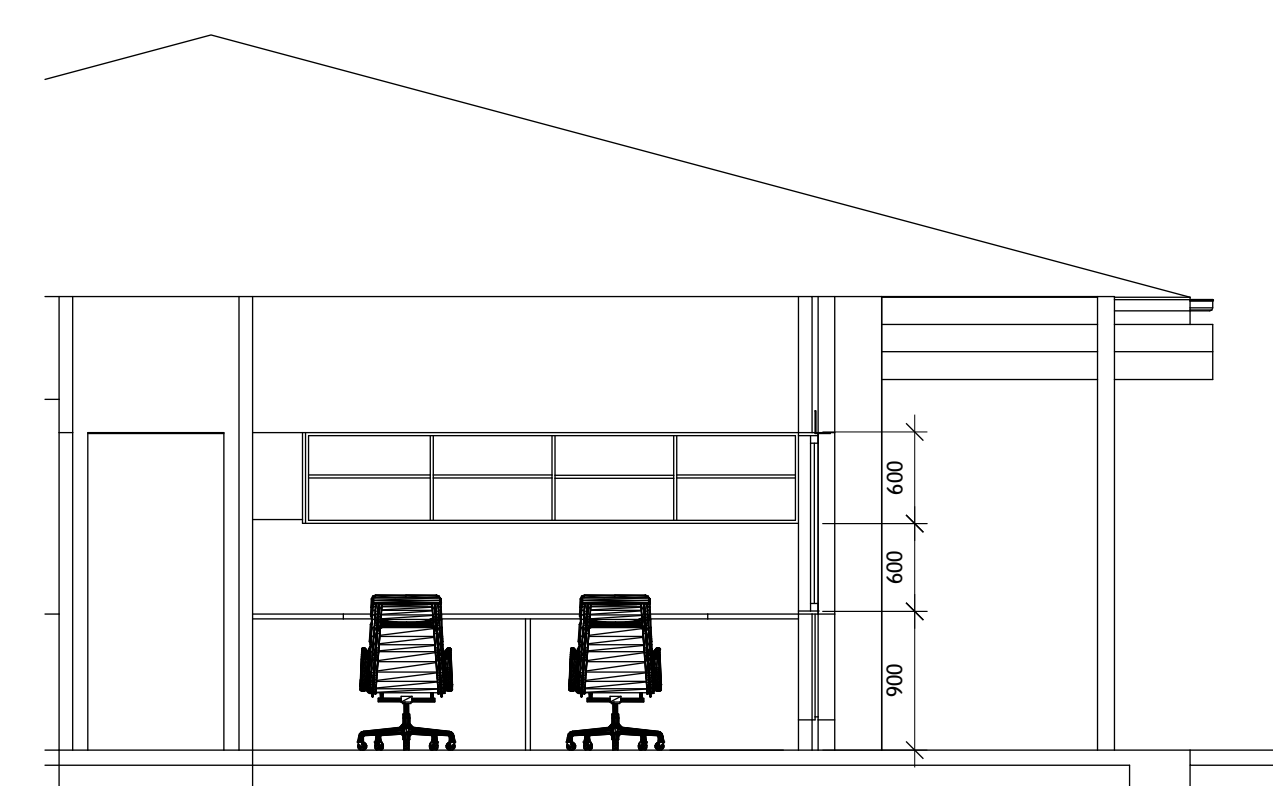
B Ensuite Elevation
01 scale: 1:50



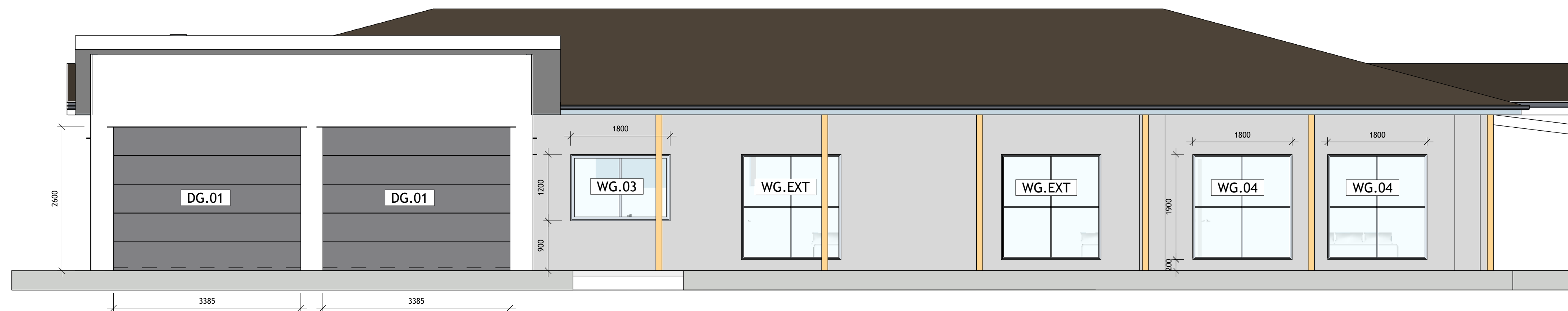
C LAUNDRY ELEVATION
01 scale: 1:50



D Kitchen Elevation (Refer Kitchen Joinery Drawing)
01 scale: 1:50



E Study
01 scale: 1:50



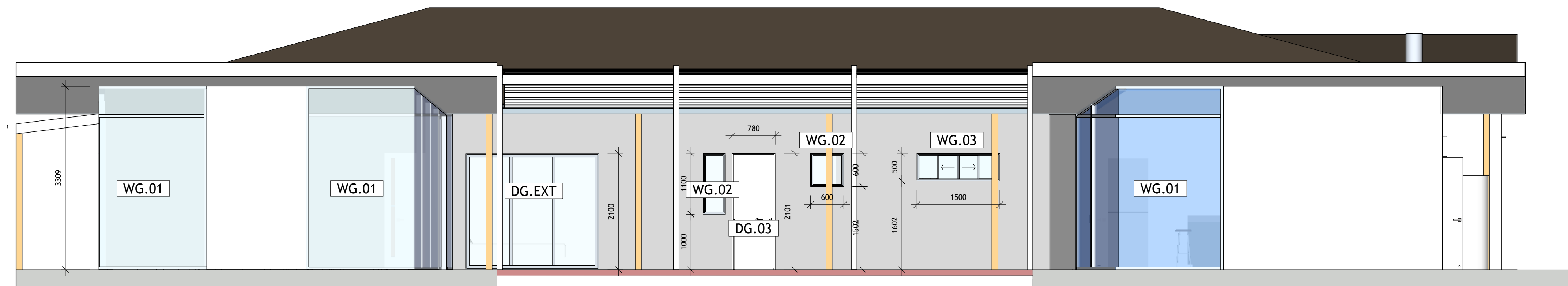
GENERAL NOTES

CHECK / CONFIRM ALL OPENING DIMENSIONS ON SITE PRIOR TO ORDERING DOORS AND WINDOWS.

REFER TO PLAN FOR DIRECTION OF DOOR SWING / SLIDE.

ALL REQUIRED DOOR AND WINDOW HARDWARE AS SELECTED BY CLIENT

ALL LOCKABLE EXTERNAL DOORS TO BE KEYED ALIKE



WG.01
FRAME CAPRAL 400 NARROW LINE SERIES FRAME AND SUBSILL COMPLETE WITH FULL WEATHER SEALS WITH CONTINUOUS SLOTTED SUBSILLS . FINISH : POWDERCOAT FINISH - BLACK MATT GLASS: VIRIDIAN EVANTAGE CLEAR (#2) 6+12+6

WG.02
FRAME CAPRAL 400 NARROW LINE SERIES FRAME AND SUBSILL COMPLETE WITH FULL WEATHER SEALS WITH CONTINUOUS SLOTTED SUBSILLS . FINISH : POWDERCOAT FINISH - BLACK MATT GLASS: VIRIDIAN VFLOAT CLEAR TO AS1288 - 2006

WG.03
FRAME CAPRAL 400 NARROW LINE SERIES FRAME AND SUBSILL COMPLETE WITH FULL WEATHER SEALS WITH CONTINUOUS SLOTTED SUBSILLS . OPENABLE : SLIDING WITH INSECT SCREEN FINISH : POWDERCOAT FINISH - BLACK MATT GLASS: VIRIDIAN VFLOAT CLEAR TO AS1288 - 2006

WG.04
FRAME CAPRAL 400 NARROW LINE SERIES FRAME AND SUBSILL COMPLETE WITH FULL WEATHER SEALS WITH CONTINUOUS SLOTTED SUBSILLS . TO MATCH EXISTING WINDOWS . MEASURE BEFORE MANUFACTURING FINISH : POWDERCOAT FINISH - BLACK MATT GLASS: VIRIDIAN EVANTAGE CLEAR (#2) 6+12+6

WG.EXT
EXISTING WINDOW.
CLEAN AND MAKE GOOD

DG.01
ROLLER DOOR AS APPROVED BY CLIENT

DG.02
CARAL 900 SERIES SLIDING DOOR , DOOR WITH SCREEN DOOR AND THRESHOLD STEP POWDER COAT FINISH - BLACK MATT FRAME : CAPRAL 400 NARROWLINE SERIES FRAME AND SUBSILL WITH FULL WEATHER SEALS, POWDERCOAT FINISH - BLACK MATT GLASS : VIRIDIAN VFLOT CLEAR TO AS1288 - 2006

DG.03
DOOR : SOLID CORE, 45MM THICK CORE: MARINE GRADE PLYWOOD VEMEER: APPEARANCE GRADE FOR PAINT FINISH - TO MATCH INTERNAL AND EXTERNAL WALLS FRAME : STEEL FRAME AND SUBSILL WITH FULL WEATHER SEALS, PAINT FINISH TO MATCH INTERNAL AND EXTERNAL WALLS

DG.03
DOOR : SOLID CORE, 45MM THICK CORE: MARINE GRADE PLYWOOD VEMEER: APPEARANCE GRADE FOR PAINT FINISH - TO MATCH INTERNAL AND EXTERNAL WALLS FRAME : STEEL FRAME AND SUBSILL WITH FULL WEATHER SEALS, PAINT FINISH TO MATCH INTERNAL AND EXTERNAL WALLS

DG.EXT
EXISTING DOOR.
CLEAN AND MAKE GOOD

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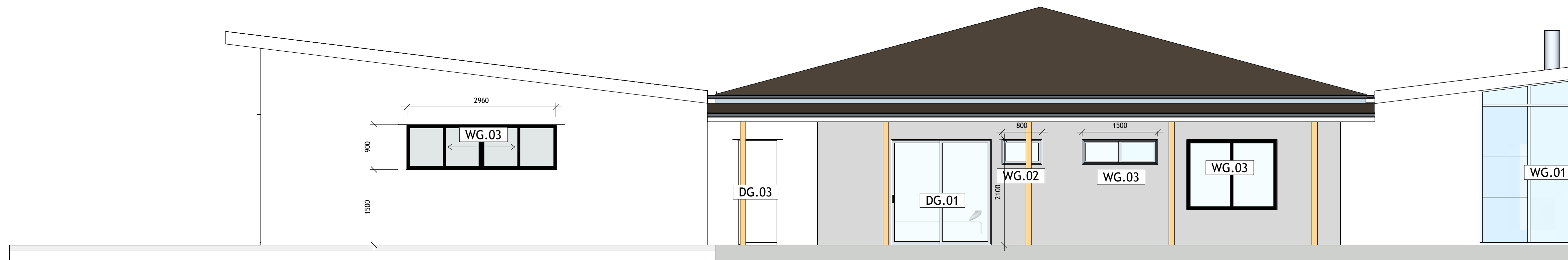
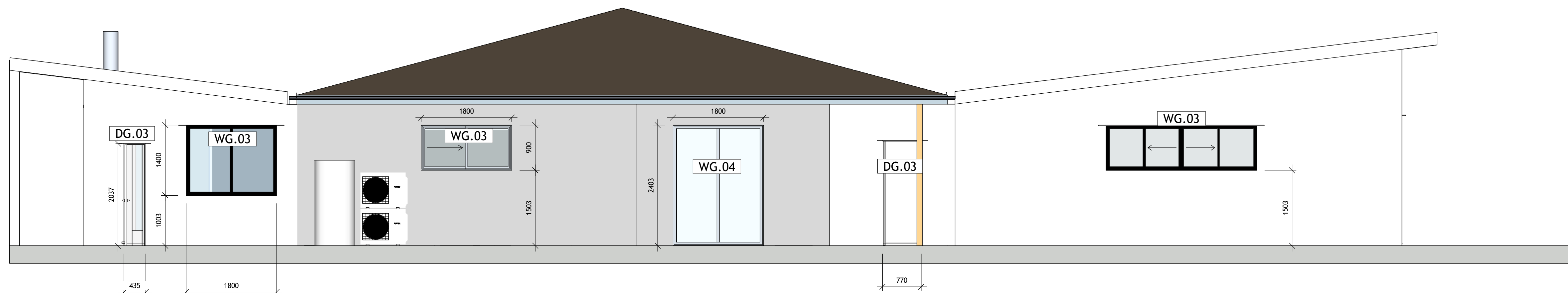
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BUILDING RULES CONSENT

DESCRIPTION
DOOR & WINDOWS

SCHEDULE
1:100

A0.12



GENERAL NOTES

CHECK / CONFIRM ALL OPENING DIMENSIONS ON SITE PRIOR TO ORDERING DOORS AND WINDOWS.

REFER TO PLAN FOR DIRECTION OF DOOR SWING / SLIDE.

ALL REQUIRED DOOR AND WINDOW HARDWARE AS SELECTED BY CLIENT

ALL LOCKABLE EXTERNAL DOORS TO BE KEYED ALIKE

WG.01
FRAME CAPRAL 400 NARROW LINE
SERIES FRAME AND SUBSILL COMPLETE WITH FULL WEATHER SEALS WITH CONTINUOUS SLOTTED SUBSILLS .
FINISH : POWDERCOAT FINISH - BLACK MATT
GLASS: VIRIDIAN EVANTAGE CLEAR (#2) 6+12+6

WG.02
FRAME CAPRAL 400 NARROW LINE
SERIES FRAME AND SUBSILL COMPLETE WITH FULL WEATHER SEALS WITH CONTINUOUS SLOTTED SUBSILLS .
FINISH : POWDERCOAT FINISH - BLACK MATT
GLASS: VIRIDIAN VFLOAT CLEAR TO AS1288 - 2006

WG.03
FRAME CAPRAL 400 NARROW LINE
SERIES FRAME AND SUBSILL COMPLETE WITH FULL WEATHER SEALS WITH CONTINUOUS SLOTTED SUBSILLS .
OPENABLE : SLIDING WITH INSECT SCREEN
FINISH : POWDERCOAT FINISH - BLACK MATT
GLASS: VIRIDIAN VFLOAT CLEAR TO AS1288 - 2006

WG.04
FRAME CAPRAL 400 NARROW LINE
SERIES FRAME AND SUBSILL COMPLETE WITH FULL WEATHER SEALS WITH CONTINUOUS SLOTTED SUBSILLS .
TO MATCH EXISTING WINDOWS . MEASURE BEFORE MANUFACTURING
FINISH : POWDERCOAT FINISH - BLACK MATT
GLASS: VIRIDIAN EVANTAGE CLEAR (#2) 6+12+6

WG.EXT
EXISTING WINDOW.
CLEAN AND MAKE GOOD

DG.01
ROLLER DOOR AS APPROVED BY CLIENT

DG.02
CARAL 900 SERIES SLIDING DOOR , DOOR WITH SCREEN DOOR AND THRESHOLD STEP
POWDER COAT FINISH - BLACK MATT
FRAME : CAPRAL 400 NARROWLINE SERIES FRAME AND SUBSILL WITH FULL WEATHER SEALS,
POWDERCOAT FINISH - BLACK MATT
GLASS : VIRIDIAN VFLOR CLEAR TO AS1288 - 2006

DG.03
DOOR : SOLID CORE, 45MM THICK
CORE: MARINE GRADE PLYWOOD
VEMEER: APPEARANCE GRADE FOR PAINT FINISH - TO MATCH INTERNAL AND EXTERNAL WALLS
FRAME : STEEL FRAME AND SUBSILL WITH FULL WEATHER SEALS, PAINT FINISH TO MATCH INTERNAL AND EXTERNAL WALLS

DG.EXT
EXISTING DOOR.
CLEAN AND MAKE GOOD

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DESCRIPTION
DOOR & WINDOWS
SCHEDULE
1:100

A0.13